



PLANNING COMMISSION AGENDA

Thursday, November 20, 2014

6:30 p.m.

Coon Rapids City Center

Council Chambers

Call to Order

Pledge of Allegiance

Roll Call

Adopt Agenda

Approval of Minutes from October 16, 2014

Old Business

1. PC 14-15 Amendment to Gateway Commerce Center PUD to allow restaurant with drive-thru instead of a bank at 1865 Gateway Drive

New Business

Other Business

Current Development

Adjourn



Planning Commission Regular

Meeting Date: 11/20/2014

SUBJECT: Approval of Minutes from October 16, 2014

Attachments

Draft October 16th Minutes

COON RAPIDS PLANNING COMMISSION MEETING OF OCTOBER 16, 2014

CALL TO ORDER

The regular agenda meeting of the Coon Rapids Planning Commission was called to order by Vice Chair Schwartz at 6:30 p.m.

Members Present: Vice Chair Wayne Schwartz, Commissioners Denise Hosch, Jonathan Lipinski, Donna Naeve, Zachary Stephenson and Julia Stevens.

Members Absent: Chair Jenny Geisler.

Staff Present: Community Development Director Marc Nevinski and Planner Scott Harlicker.

PLEDGE OF ALLEGIANCE

Vice Chair Schwartz led the Commission in the Pledge of Allegiance.

ADOPTION OF THE AGENDA

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO ADOPT THE AGENDA AS PRESENTED. THE MOTION PASSED UNANIMOUSLY.

APPROVAL OF THE SEPTEMBER 18, 2014 REGULAR MINUTES

MOTION BY COMMISSIONER HOSCH, SECONDED BY COMMISSIONER LIPINSKI, TO APPROVE THE PLANNING COMMISSION MINUTES OF THE REGULAR MEETING OF SEPTEMBER 18, 2014, AS PRESENTED. THE MOTION PASSED UNANIMOUSLY.

OLD BUSINESS

1. PLANNING CASE 14WC1 – COMMERCIAL ANTENNA TOWER – PHEASANT RIDGE PARK – AT&T – PUBLIC HEARING
-

It was noted this item was being postponed to the November 20th meeting to allow the applicant additional time to provide updated information to staff.

NEW BUSINESS

2. PLANNING CASE 14-16 – LOT SPLIT – 1221 OLIVE STREET - BODEN – PUBLIC HEARING
-

It was noted the applicant is requesting a lot split to subdivide an existing parcel into two single-family lots. Staff reviewed the request in detail with the Commission and recommended approval of the proposed lot split with conditions.

Commissioner Stevens asked if the new lot would be comparable to the surrounding lots. Planner Harlicker stated this was the case.

Vice Chair Schwartz opened and closed the public hearing at 6:38 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER NAEVE, SECONDED BY COMMISSIONER LIPINSKI, TO APPROVE PLANNING CASE 14-16, THE PROPOSED LOT SPLIT WITH THE FOLLOWING CONDITIONS:

1. ALL COMMENTS OF THE CITY ENGINEER MUST BE ADDRESSED.
2. COMPLIANCE WITH TITLE 11, LAND DEVELOPMENT REGULATIONS.
3. PARK DEDICATION FOR THE NEW LOT BE PAID IN THE AMOUNT OF \$2,000 PRIOR TO RELEASING THE LOT SPLIT FOR RECORDING.
4. THE BOARD OF ADJUSTMENT AND APPEALS GRANT A VARIANCE TO PARCEL 1 TO THE REQUIRED REAR YARD SETBACK.

THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the November 5, 2014 City Council meeting.

3. **PLANNING CASE 14-15 – AMENDMENT TO GATEWAY COMMERCE CENTER PUD TO ALLOW RESTAURANT WITH DRIVE-THRU INSTEAD OF A BANK AT 1865 GATEWAY DRIVE – PUBLIC HEARING**
-

It was noted the applicant seeks approval to revise the Final PUD and change the use of Lot 9 from a bank with a drive-thru window to a restaurant with a drive-thru window. Staff noted no changes to the property lines were being proposed and recommended approval of the request with conditions.

Commissioner Stevens commented no bank has come forward to occupy this space and for this reason a restaurant was being proposed.

Vice Chair Schwartz opened and closed the public hearing at 6:45 p.m., as no one wished to address the Planning Commission.

Commissioner Naeve indicated this parcel has had a number of different uses over the years. She was hesitant to support the request as it did not align with the original design of the Gateway Commercial Center. She did not believe the original vision for this area included a strip of fast food restaurants. Community Development Director Nevinski understood Commissioner Naeve's concerns with how the amendment would line up with the original intent for the PUD. He explained that the proposed use was being dictated by the market.

Commissioner Naeve stated that perhaps, the developer needed to reevaluate the entire Concept Plan and come before the City to address the changing market demands. She wanted to see the developer have a plan in place. Planner Harlicker believed the PUD had some level of flexibility and should allow for an amended use.

Commissioner Naeve discussed the impact the additional trips would have on the area and suggested a revised and updated Concept Plan be reviewed at a future Planning Commission meeting.

MOTION BY COMMISSIONER NAEVE, SECONDED BY COMMISSIONER STEPHENSON, TO POSTPONE ACTION ON PLANNING CASE 14-15 TO THE NOVEMBER 20, 2014 PLANNING COMMISSION MEETING, REQUESTING THE DEVELOPER WORK WITH STAFF TO UPDATE THE GATEWAY CONCEPT PLAN.

Jonathan Adams, Silverstone Realty, appreciated the comments from the Planning Commission noting he has been willing to come in with uses that fit the Concept Plan. He discussed how the market has changed stating he was doing his best to find a bank to locate at this site. However, banking has changed since the economic downturn. He reported that he had a client ready to locate on this site and would follow the design guidelines as specified by staff. He requested the Commission reconsider his request noting the extra traffic generation would not be detrimental to the area. He did not believe it was realistic for the Commission to request a new Concept Plan for the Gateway Commerce Center.

Commissioner Naeve wanted to see the development remain cohesive.

Commissioner Stephenson agreed with Commissioner Naeve and supported the Concept Plan being reworked given the changes that have occurred to the retail/commercial and office market. For this reason, he would be supporting Commissioner Naeve's motion.

THE MOTION PASSED UNANIMOUSLY.

4. PLANNING CASE 14-17 – COMPREHENSIVE PLAN AMENDMENT – FOLEY BOULEVARD STATION AREA PLAN – PUBLIC HEARING

It was noted the Planning Commission is being asked to consider the *Foley Boulevard Station Area Plan* and a text amendment to the Comprehensive Plan adopting the Station Area Plan. Staff reviewed the proposed changes for Foley Boulevard in detail with the Commission and recommended approval of the *Foley Boulevard Station Area Plan*.

Vice Chair Schwartz opened the public hearing at 7:14 p.m.

Gabrielle Hanschen, 933 Foley Boulevard, explained he moved into his home last November. He asked if the City would be purchasing property west of the train tracks at Foley Boulevard.

Community Development Director Nevinski stated the County may or may not be interested in purchasing these properties when the intersection at Foley Boulevard was reconstructed. He recommended Mr. Hanschen address the Anoka County Highway Department with his concerns.

Vice Chair Schwartz closed the public hearing at 7:17 p.m.

Commissioner Stephenson stated he was impressed by the plan as presented by staff.

MOTION BY COMMISSIONER HOSCH, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 14-17, THE *FOLEY BOULEVARD STATION AREA PLAN*. THE MOTION PASSED UNANIMOUSLY.

MOTION BY COMMISSIONER HOSCH, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 14-17, THE TEXT AMENDMENT TO CHAPTER 2 OF THE COMPREHENSIVE PLAN INCORPORATING THE FUTURE LAND USES AND RELATIONSHIPS, TRAFFIC CIRCULATION, AND PEDESTRIAN SYSTEMS ESTABLISHED BY THE *FOLEY BOULEVARD STATION AREA PLAN*. THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the November 5, 2014 City Council meeting.

5. REVOCATION OF CONDITIONAL USE PERMIT PC 06-16 – 9829 ILLEX STREET - BITTNER

It was noted the City is proposing to revoke the conditional use permit for a home occupation (mail order business), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER LIPINSKI, TO APPROVE PLANNING CASE 06-16, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (MAIL ORDER BUSINESS) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

6. REVOCATION OF CONDITIONAL USE PERMIT PC 06-37 – 559 113TH AVENUE - JEWELLE

It was noted the City is proposing to revoke the conditional use permit for a home occupation (massage therapy), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER HOSCH, TO APPROVE PLANNING CASE 06-37, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (MASSAGE THERAPY) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

7. REVOCATION OF CONDITIONAL USE PERMIT PC 06-56 – 10028 LINNET STREET - LOXTERCAMP

It was noted the City is proposing to revoke the conditional use permit for a home occupation (beauty shop), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 06-56, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (BEAUTY SHOP) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

8. REVOCATION OF CONDITIONAL USE PERMIT PC 08-23 – 12416 FLINTWOOD STREET - ELLIS

It was noted the City is proposing to revoke the conditional use permit for a home occupation (chiropractic office), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER LIPINSKI, TO APPROVE PLANNING CASE 08-23, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (CHIROPRACTIC OFFICE) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

9. REVOCATION OF CONDITIONAL USE PERMIT PC 06-45 – 9940 NORWAY STREET – NGUYEN VY TUONG

It was noted the City is proposing to revoke the conditional use permit for a home occupation (retail sales), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 06-45, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (RETAIL SALES) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

10. REVOCATION OF CONDITIONAL USE PERMIT PC 04-43 – 12231 FOLEY BOULEVARD - PFEIFER

It was noted the City is proposing to revoke the conditional use permit for a home occupation (beauty shop), as the applicant is no longer operating the businesses at this address.

Vice Chair Schwartz opened and closed the public hearing at 7:20 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER NAEVE, TO APPROVE PLANNING CASE 04-43, REVOKING THE HOME OCCUPATION CONDITIONAL USE PERMIT (BEAUTY SHOP) BASED ON THE FINDING THAT THE HOME OCCUPATION IS NO LONGER IN OPERATION AT THIS ADDRESS. THE MOTION PASSED UNANIMOUSLY.

This is a decision made by the Planning Commission and shall stand unless appealed to the City Council within ten days after notification of the decision.

OTHER BUSINESS

Community Development Director Nevinski reviewed the current development taking place in the City of Coon Rapids.

Vice Chair Schwartz thanked Community Development Director Nevinski for his dedication to the City and wished him well in the future.

ADJOURN

MOTION BY COMMISSIONER STEVENS, SECONDED BY COMMISSIONER LIPINSKI,
TO ADJOURN THE MEETING AT 7:26 P.M. THE MOTION PASSED UNANIMOUSLY.

Recorded and Transcribed by,
Heidi Guenther
Planning Commission Recording Secretary

Draft



Planning Commission Regular

1.

Meeting Date: 11/20/2014

Subject: PC 14-15 Amendment to Gateway Commerce Center PUD to allow restaurant with drive-thru instead of a bank at 1865 Gateway Drive

From: Scott Harlicker, Planner

INTRODUCTION

The applicant seeks approval to revise the Final PUD and change the use of Lot 9 from a bank with a drive thru window to a restaurant with a drive thru window. No changes to the property lines are proposed. At the October 16th meeting the Commission postponed action on this item. The Commission asked that the applicant incorporate the proposed revision into an overall amendment to the entire PUD.

ACTIONS

Conduct of public hearing: Public hearing opened and closed on October 16th
 Recommendation by Planning Commission
 Decision City Council on: December 2nd

60 DAY RULE

To comply with the requirements of Minnesota Statute §15.99, the 60 day period was extended to January 6, 2015

LOCATION

The property is located on the southwest corner of Hanson Boulevard and Gateway Drive.

| | Existing Use | Comprehensive Plan | Zoning |
|-------------------------|---------------------------|----------------------------|---------------------------|
| Subject Property | Undeveloped | Community Commercial | Community Commercial/ PUD |
| North | Undeveloped | Community Commercial | Community Commercial/ PUD |
| South | McDonalds | Community Commercial | Community Commercial/ PUD |
| East | Holiday Convenience store | Community Commercial | Community Commercial/ PUD |
| West | Undeveloped | Park, Recreation, Preserve | Conservancy |

DISCUSSION

Proposed Changes

Conformance with the Design Guidelines

The proposed changes were compared with the Intent Statements and Guidelines. The proposed changes do not conflict with the relevant statements or guidelines. The change in land use from a bank to restaurant includes a pedestrian connection to Gateway Drive and it has minimum impact on local traffic circulation. The main access

into the site is unchanged and still aligns with the driveway that provides access Holiday station Store. Specific building design guidelines will be considered at the time of site plan review.

Landscaping

The overall landscaping proposed for the site is largely consistent with the original PUD. The plan is missing two trees along the main drive between this site and the Holiday site, two trees should be added. There is additional open space with the revise plan; this provided an opportunity for additional interior landscaping. The additional landscaping includes one overstory tree and two ornamental trees.

There is a stormwater pond on the west side of Gateway Drive, adjacent to this lot, that has not been landscaped per the approved landscape plan. As the adjacent property is being developed, staff recommends that the landscaping around the pond be installed and irrigated at this time time, per the approved plan, and the installation be made a condition of approval.

Signage

The approved plan included a freestanding sign for this site and is not being changed as part of the proposed amendment.

Traffic

The applicant has updated the traffic study completed for the original PUD. The update includes traffic counts for a restaurant with a drive thru in place of the bank. The study found the during the AM peak the restaurant would generate 69 more trips than the bank; during the PM peak the restaurant would generate 30 trips less than the bank, and overall daily count the restaurant would generate 663 more trips than the bank. The analysis found that the 2.9% increase in traffic would have minimal impact on the Hanson Boulevard/Northdale Boulevard intersection.

October Planning Commission Meeting

At the October 16 Planning Commission meeting the Commission postponed action on this application. The Commission was concerned about incremental changes to the PUD and referenced recent amendments to allow the McDonalds restaurant and the Holiday convenience store. Given the changes that have occurred in the market over the past years, the Commission asked the applicant to incorporate this proposed amendment into an overall amendment of the entire PUD.

In the attached letter, the applicant asks that the Commission consider this proposed amendment on its own merits and provides an explanation for the proposed changes.

RECOMMENDATION

In Planning Case 14-15, the Planning Commission recommend **approval** of the proposed revisions to the Gateway Commerce Center Final PUD with the following conditions:

1. The landscaping around the stormwater pond on the north side of Gateway Drive be installed.
2. All conditions of the original PUD approval of December 18, 2007 are included in this approval.
3. Approval and execution of an amendment to the PUD Agreement.

Attachments

Location Map

Applicant's Narrative

Proposed Site Plan

Proposed Grading and Landscaping Plans

Existing Plans

Location Map





October 25, 2014

Re: PUD Amendment at the Gateway Commerce Center

Dear Coon Rapids City Council:

This letter shall serve as a 2nd request to amend the PUD use on Lot 9 of the Coon Rapids Gateway Commerce Center.

Lot 9 was approved for a Bank/Retail site use in 2007. Since that time Silverstone Realty and H&W Family **have exhausted all efforts** to attract a Bank user for this site. Our request to change Lot 9's use to a drive-thru restaurant was postponed at the October 16, 2014 planning commission meeting as the commission decided they would prefer to look at a new PUD entirely.

At this time it is **not** our intention to submit for a new PUD and instead we still request that Lot 9's use be amended to allow for a Quick Serve Restaurant use with Drive-Thru.

In 2006-2007 we spent over 1 year working with the city staff, planning commission, architectural city consultants, and the city council in order to produce a PUD that worked for both the City of Coon Rapids and H&W Family, LLLP. This process allowed for design guidelines to be created which governed the PUD and the site development. It was the intent of the PUD to allow for restaurants, drive-thru's, retail, office, gas, daycare, and medical. We have followed the guidelines for the current uses and intend to continue following them for the remaining uses

H&W Family, LLLP has worked very hard to make sure that all the current retail/gas/restaurant buildings were built at a high quality level which is an asset to the residents of Coon Rapids. Caribou, Holiday, and McDonalds are all extremely successful at this intersection and are exceeding sales expectations. This shows that the residents of Coon Rapids are extremely happy with these uses and this development.

Our intention is to bring Coon Rapids another high end use that serves the population well. Taco Bell dominates their market and produces a high end building and business that fits the Gateway Commerce Center's development quality. Therefore our request is to amend the PUD to allow a Quick Serve Restaurant use with a drive-thru that replaces the Bank with a drive-thru. **Please also note that due to restrictions that were placed on this development by McDonalds, Taco Bell's menu is one of the only remaining menus that was not restricted.**

The current Bank use also allows for a drive thru so we feel this request is consistent with the overall PUD for the development. Taco Bell will purchase Lot 9 and has a similar site design to the Bank layout.

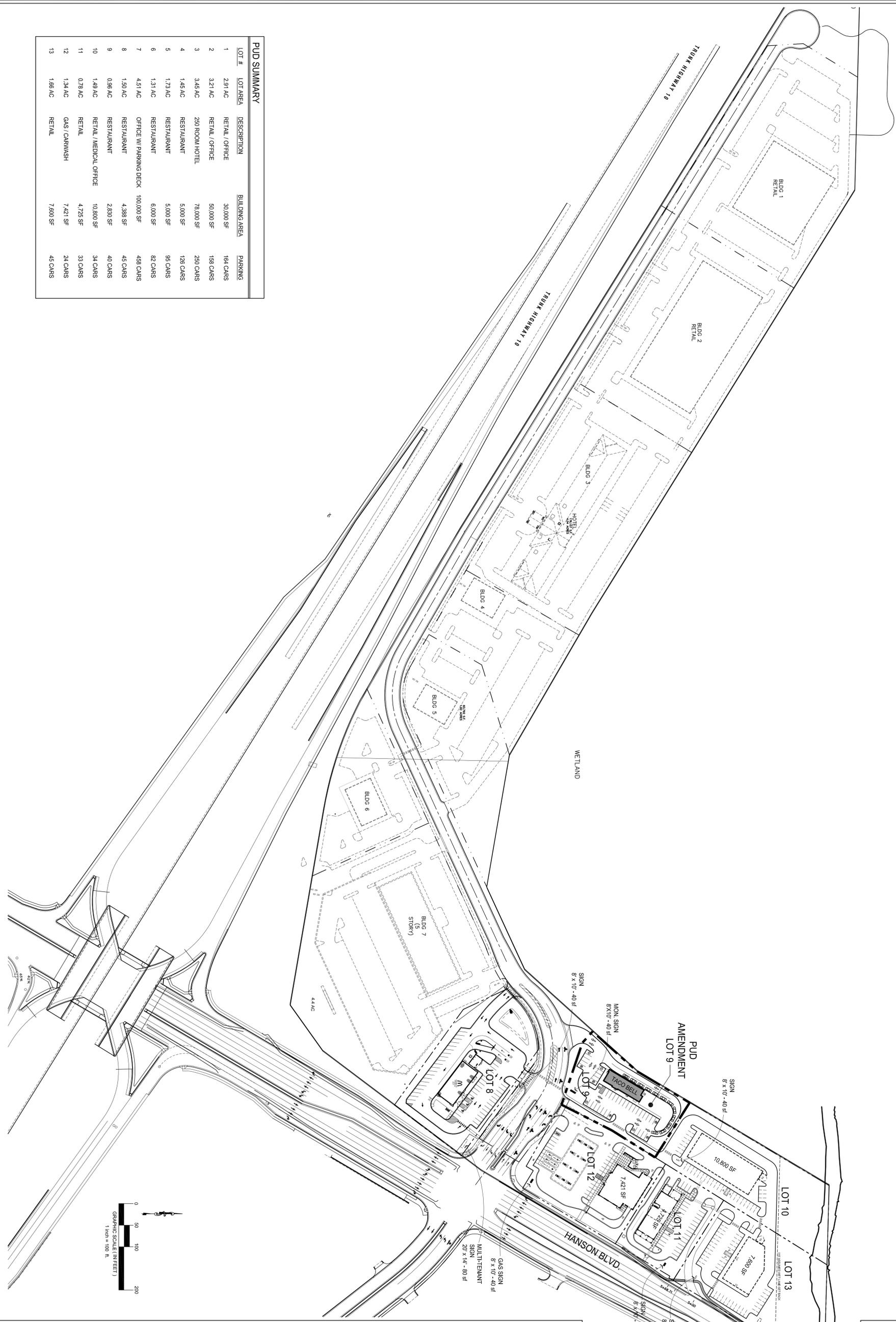
Please feel free to contact the development team with any questions and thanks for your support

Best Regards,

Jonathan Adam
Silverstone Realty
7955 Stone Creek Dr. Unit 130
Chanhassen MN 55317
(952) 856-6231
Jadam@silverstonemn.com

A handwritten signature in black ink, appearing to read "William O. Cooley".

William O. Cooley, M/M of GP
H & W Family LLLP
16216 Ice Circle Drive
Wayzata, MN 55391
(561) 758-8787
cool3003@bellsouth.net



| LOT # | LOT AREA | DESCRIPTION | BUILDING AREA | PARKING |
|-------|----------|-------------------------|---------------|----------|
| 1 | 2.91 AC | RETAIL / OFFICE | 30,000 SF | 164 CARS |
| 2 | 3.21 AC | RETAIL / OFFICE | 50,000 SF | 198 CARS |
| 3 | 3.45 AC | 290 ROOM HOTEL | 78,000 SF | 290 CARS |
| 4 | 1.45 AC | RESTAURANT | 5,000 SF | 128 CARS |
| 5 | 1.73 AC | RESTAURANT | 5,000 SF | 95 CARS |
| 6 | 1.31 AC | RESTAURANT | 6,000 SF | 82 CARS |
| 7 | 4.51 AC | OFFICE W/ PARKING DECK | 100,000 SF | 458 CARS |
| 8 | 1.50 AC | RESTAURANT | 4,388 SF | 45 CARS |
| 9 | 0.96 AC | RESTAURANT | 2,890 SF | 40 CARS |
| 10 | 1.49 AC | RETAIL / MEDICAL OFFICE | 10,800 SF | 34 CARS |
| 11 | 0.78 AC | RETAIL | 4,725 SF | 33 CARS |
| 12 | 1.34 AC | GAS / CARWASH | 7,421 SF | 24 CARS |
| 13 | 1.86 AC | RETAIL | 7,600 SF | 45 CARS |

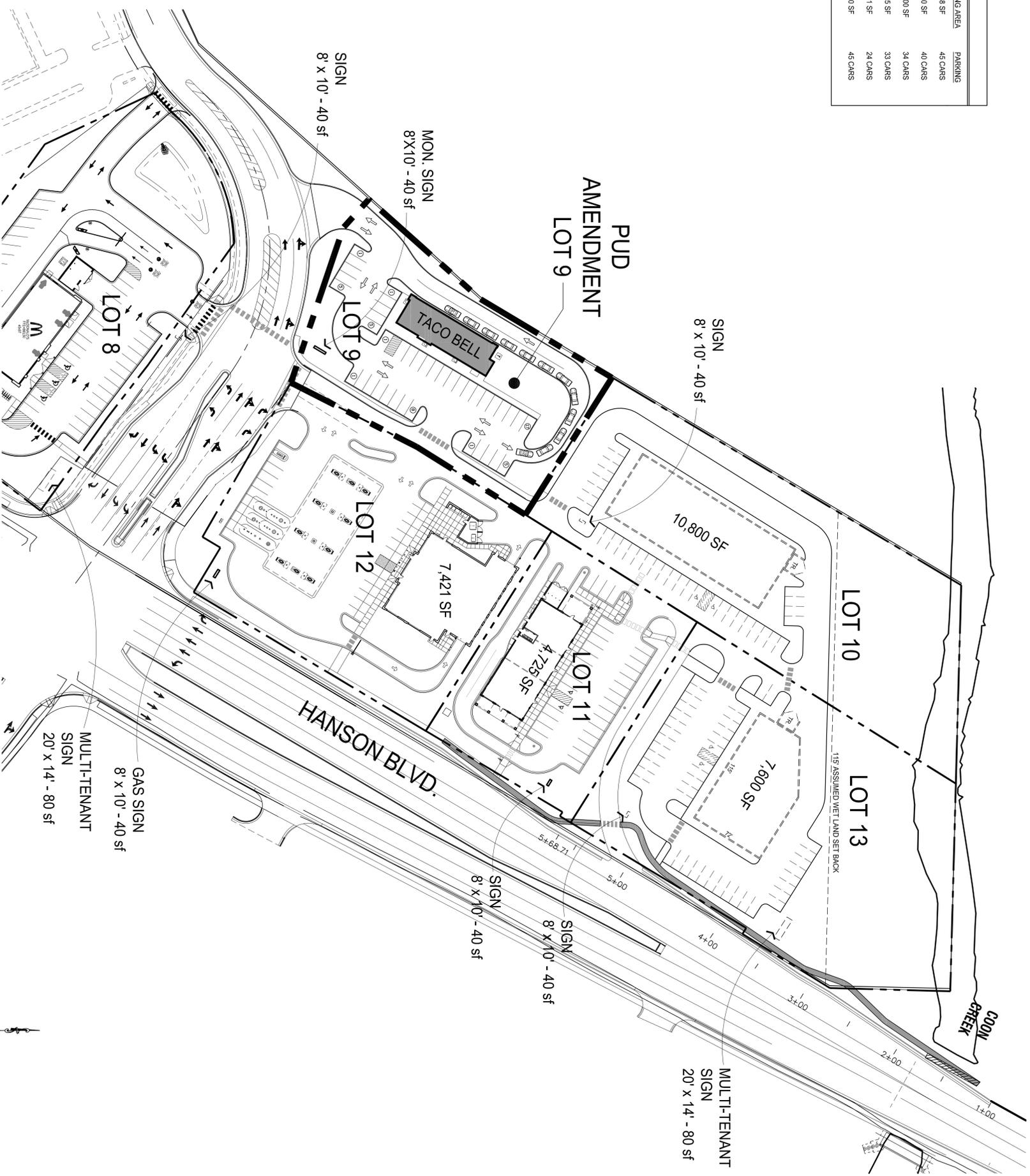
| Mark | Revision / Issue | Date |
|------|------------------|------|
| | | |

**GATEWAY
 COMMERCE
 CENTER**
 HANSON BLVD. & HWY. 10
 COON RAPIDS, MN

| | |
|---------------------------------------|------------|
| OVERALL SITE PLAN | |
| PROJECT NUMBER: | CA-1018-C1 |
| ISSUED DATE: | 04-08-14 |
| DRAWN BY: | EL/BD |
| CHECKED BY: | KA |

A1.1

| LOT # | LOT AREA | DESCRIPTION | BUILDING AREA | PARKING |
|-------|----------|-------------------------|---------------|---------|
| 8 | 1.50 AC | RESTAURANT | 4,388 SF | 45 CARS |
| 9 | 0.96 AC | RESTAURANT | 2,830 SF | 40 CARS |
| 10 | 1.49 AC | RETAIL / MEDICAL OFFICE | 10,800 SF | 34 CARS |
| 11 | 0.78 AC | RETAIL | 4,725 SF | 33 CARS |
| 12 | 1.34 AC | GAS / CARWASH | 7,421 SF | 24 CARS |
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ARCHITECTURAL CONSORTIUM L.L.C.
 901 North Third Street, Suite 220 Minneapolis, MN 55401
 612.436.4030 Fax 612.692.9960

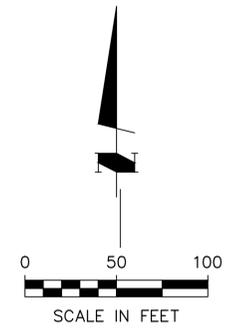
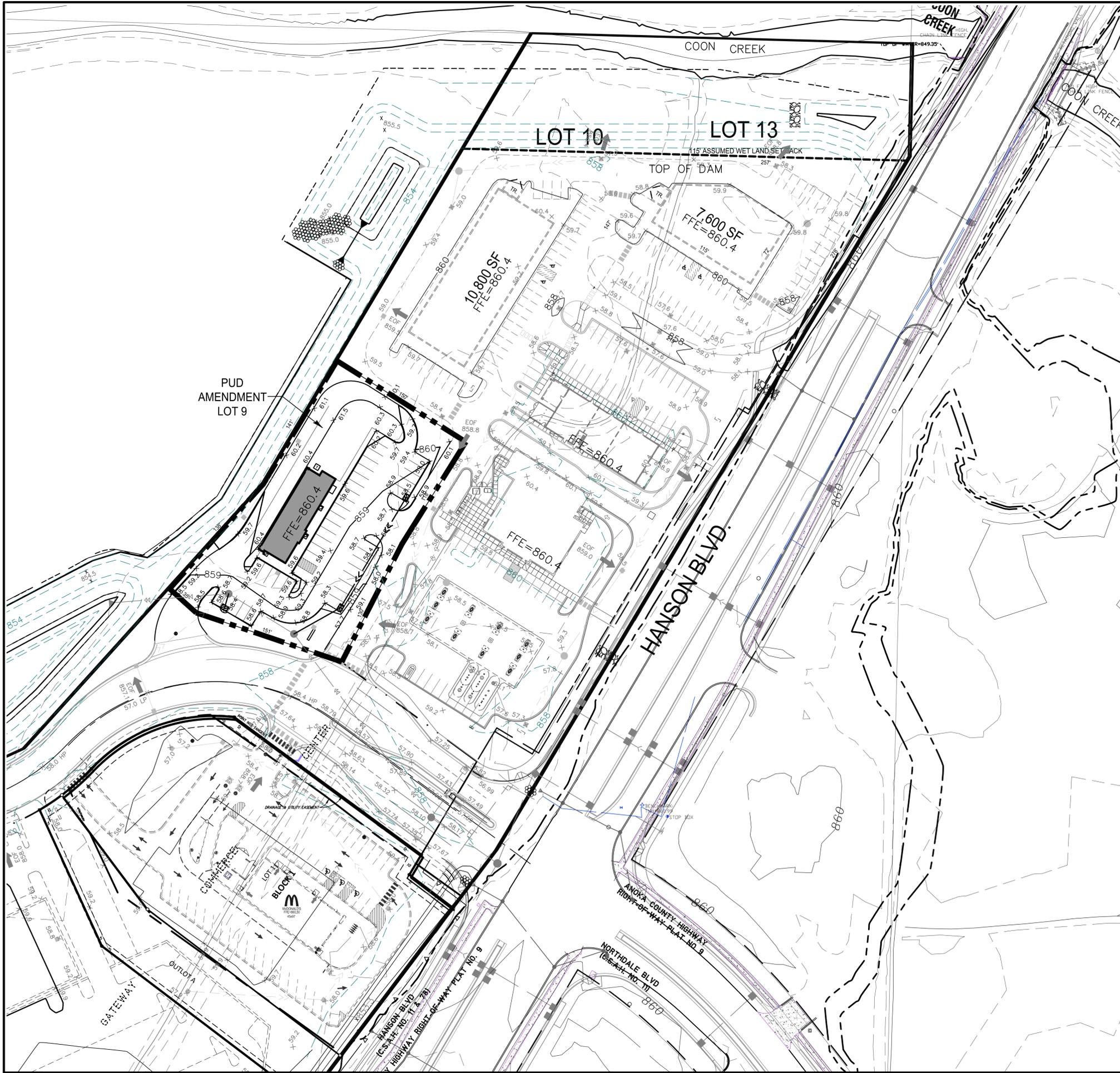
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| | | |

GATEWAY COMMERCE CENTER
 HANSON BLVD. & HWY. 10
 COON RAPIDS, MN

ENLARGED SITE PLAN

| | |
|-----------------|------------|
| PROJECT NUMBER: | 04-1019-C1 |
| ISSUED DATE: | 04-08-14 |
| DRAWN BY: | EL/BD |
| CHECKED BY: | KA |

A1.2



LEGEND

| | PROPOSED | EXISTING | FUTURE |
|----------------|----------|----------|---------|
| PROPERTY LIMIT | --- | --- | --- |
| CURB & GUTTER | — — | — — | — — |
| STORM SEWER | — — | — — | — — |
| DRAINTILE | — — | — — | — — |
| BUILDING | — — | — — | — — |
| RETAINING WALL | — — | — — | — — |
| WETLAND LIMITS | — — | — — | — — |
| TREELINE | — — | — — | — — |
| SPOT ELEVATION | 962.5 X | 962.5 X | 962.5 X |
| CONTOUR | 902 | 902 | 902 |
| RIP RAP | 902.5 | 1042.56 | |
| OVERFLOW ELEV. | EOF | | |
| SOIL BORINGS | | | |

- NOTES:
1. THE SITE BOUNDARY AND LOT LINES WERE PROVIDED BY LOT SURVEYS COMPANY.
 2. THE AREA TO BE SURCHARGED SHALL BE AS REQUIRED BY SOILS ENGINEER.
 3. WETLAND LIMIT DETERMINED BY PETERSON ENVIRONMENTAL CONSULTING, AND IS SUBJECT TO AGENCY REVIEW AND CONCURRENCE.
 4. SEE GRADING PLAN FOR SILT FENCE LOCATIONS.
 5. TREES ALONG HANSON BLVD. TO BE PLANTED FOLLOWING RECONSTRUCTION OF HANSON BLVD.
 6. ALL RIPRAP SHALL BE MNDOT CLASS III

Sambatek
www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile
Engineering | Surveying | Planning | Environmental

Client
H&W FAMILY
LLLP
CLIENT ADDRESS

Project
GATEWAY
COMMERCE
CENTER

Location
COON RAPIDS,
MN
LOCATION ADDRESS

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Brady D. Busseman
Registration No. 44579 Date: 09/08/2014
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: bdb Drawn: JMT
Approved: MCA Book / Page:
Phase: PUD Initial Issue: 09/08/2014

Revision History

| No. | Date | By | Submittal / Revision |
|-----|----------|-----|---------------------------------------|
| C | 9/21/04 | NCS | REV POND AREAS |
| D | 11/23/04 | NCS | REVISED PER WATERSHED COMMENTS |
| E | 12/29/04 | NCS | REV PER COON CREEK WATERSHED DISTRICT |
| F | 12/21/06 | JPF | REV INTERNAL STORM SEWER |
| G | 1/16/07 | NCS | ADD RIP RAP CHECK DAMS |
| M | 5/8/09 | CJB | PUD REVISIONS |
| N | 9/8/14 | JMT | PUD REVISION FOR LOT 9 |

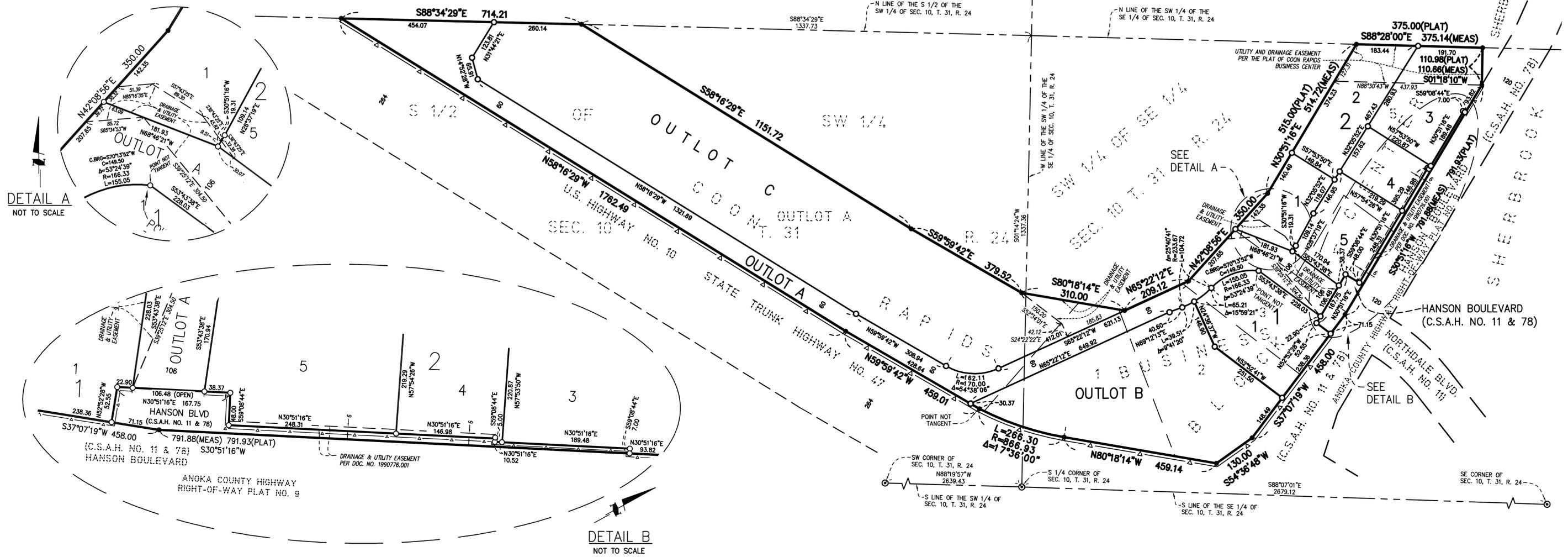
Sheet Title
STORM WATER
PLAN DETAIL

Sheet No. Revision
C-6.01 N

Project No. H&W16148

GATEWAY COMMERCE CENTER

CITY OF COON RAPIDS
 COUNTY OF ANOKA, MINNESOTA
 SEC. 10, TWP. 31, R. 24



KNOW ALL PERSONS BY THESE PRESENTS: That H & W Family, LLLP, a Minnesota limited liability limited partnership, fee owner of the following described property situated in the County of Anoka, State of Minnesota to wit:

Lots 1, 2, 3, 4, & 5, Block 1, and Outlot A, COON RAPIDS BUSINESS CENTER, according to the recorded plat thereof, Anoka County, Minnesota.

Have caused the same to be surveyed and platted as GATEWAY COMMERCE CENTER and do hereby donate and dedicate to the public for public use forever the public way and the easements for drainage and utility purposes as shown on this plat. Also dedicating to the State of Minnesota the right of access onto U.S. Highway No. 10 as shown on this plat. Also dedicating to the County of Anoka the right of access onto County State Aid Highway No. 11 and County State Aid Highway No. 78 as shown on this plat.

In witness whereof said H & W Family, LLLP, a Minnesota limited liability limited partnership, has caused these presents to be signed by its proper officer this ____ day of ____ 20__.

SIGNED: H & W Family, LLLP
 BY: H & W Holding, LLC

By: _____
 William O. Cooley, as Chief Manager

STATE OF _____
 COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by William O. Cooley, as Chief Manager of H & W Holding, LLC, a Minnesota limited liability company, the General Partner of H & W Family, LLLP, a Minnesota limited liability limited partnership, on behalf of the partnership.

Notary Printed Name _____

Notary Public, _____ County, _____
 My Commission Expires _____

I hereby certify that I have surveyed and platted the property described on this plat as GATEWAY COMMERCE CENTER; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certification are shown and labeled on this plat; and that all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Marcus F. Hampton, Licensed Land Surveyor, Minnesota License No. 47481

STATE OF MINNESOTA
 COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Marcus F. Hampton.

Notary Public, _____ County, Minnesota
 My Commission Expires January 31, 20__.

Notary Printed Name _____

CITY COUNCIL, CITY OF COON RAPIDS, MINNESOTA

This plat of GATEWAY COMMERCE CENTER was approved and accepted by the City Council of the City of Coon Rapids, Minnesota, at a regular meeting thereof held this ____ day of ____ 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

By: _____ Mayor

By: _____ Clerk

COON RAPIDS PLANNING COMMISSION

Be it known that at a meeting held on this ____ day of _____, 20__, the Planning Commission of the City of Coon Rapids, Minnesota, did hereby approve this plat of GATEWAY COMMERCE CENTER.

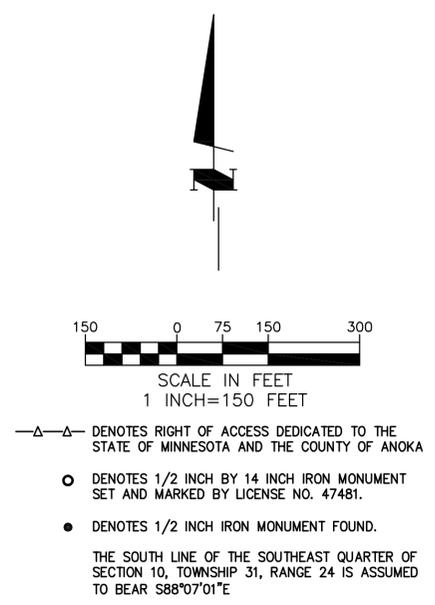
Planning Commission, City of Coon Rapids, Minnesota

By: _____ Chairman

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

By: _____
 Larry D. Hoiun, Anoka County Surveyor



GATEWAY COMMERCE CENTER 2ND ADDITION

CITY OF COON RAPIDS
COUNTY OF ANOKA
SEC. 10, T. 31, R. 24

KNOW ALL PERSONS BY THESE PRESENTS: That H & W Family, LLLP, a Minnesota limited liability limited partnership, owner of the following described property:

Lot 1, Block 1, GATEWAY COMMERCE CENTER, according to the recorded plat thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as GATEWAY COMMERCE CENTER 2ND ADDITION, as shown by this plat.

In witness whereof said H & W Family, LLLP, a Minnesota limited liability limited partnership, has caused these presents to be signed by its proper officer this ____ day of _____, 20__.

SIGNED: H & W Family, LLLP
BY: H & W Holding, LLC

By: _____
William O. Cooley, as Chief Manager

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by William O. Cooley, as Chief Manager of H & W Holding, LLC, a Minnesota limited liability company, the General Partner of H & W Family, LLLP, a Minnesota limited liability limited partnership, on behalf of the partnership.

Notary Public, _____ County, Minnesota
My Commission Expires _____

I Marcus F. Hampton do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Marcus F. Hampton, Licensed Land Surveyor
Minnesota License No. 47481

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Marcus F. Hampton.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Coon Rapids Planning Commission

Be it known that at a meeting held on this ____ day of _____, 20__, the Planning Commission of the City of Coon Rapids, Minnesota, did hereby review and approve this plat of GATEWAY COMMERCE CENTER 2ND ADDITION.

Planning Commission, City of Coon Rapids, Minnesota

By _____ Chair
By _____ Secretary

City Council, Coon Rapids, Minnesota

This plat of GATEWAY COMMERCE CENTER 2ND ADDITION was approved and accepted by the City Council of the City of Coon Rapids, Minnesota at a regular meeting thereof held this ____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

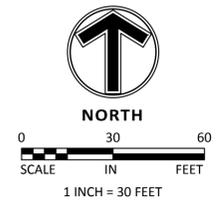
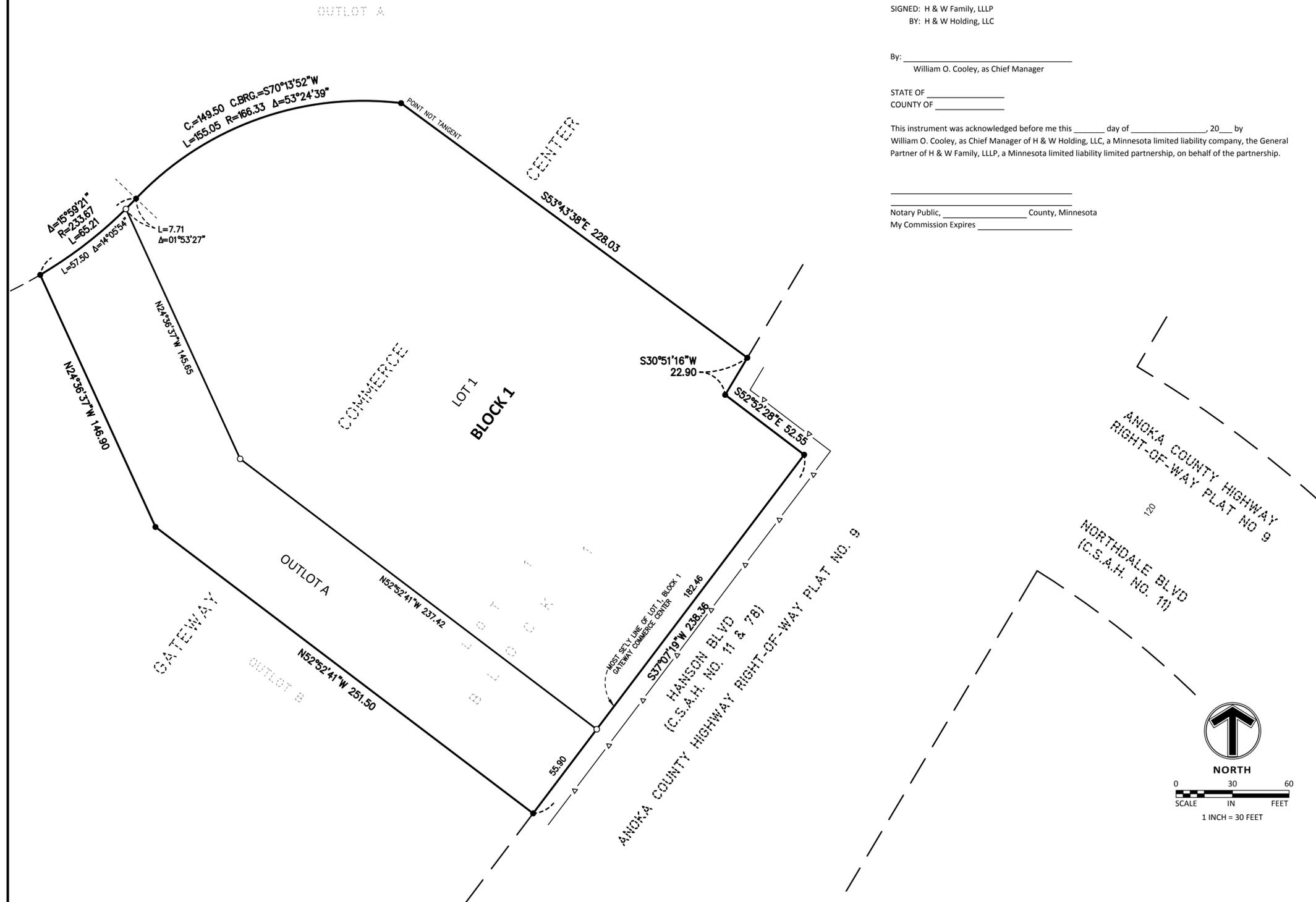
City Council, City of Coon Rapids, Minnesota

By _____ Mayor
By _____ Clerk

County Surveyor

I hereby certify that in accordance with the Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

By _____
Larry D. Hoium, Anoka County Surveyor



- ▲— DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA AND THE COUNTY OF ANOKA PER THE PLAT OF GATEWAY COMMERCE CENTER
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY LICENSE NO. 47481.
- DENOTES 1/2 INCH IRON MONUMENT FOUND AND MARKED BY REGISTRATION NO. 47481, UNLESS OTHERWISE SHOWN.

THE MOST SE'LY LINE OF LOT 1, BLOCK 1, GATEWAY COMMERCE CENTER IS ASSUMED TO HAVE A BEARING OF SOUTH 37 DEGREES 07 MINUTES 19 SECONDS WEST.

MFRA, INC.
ENGINEERING, PLANNING
AND LAND SURVEYING

Gateway Commerce Center

Grading Plan

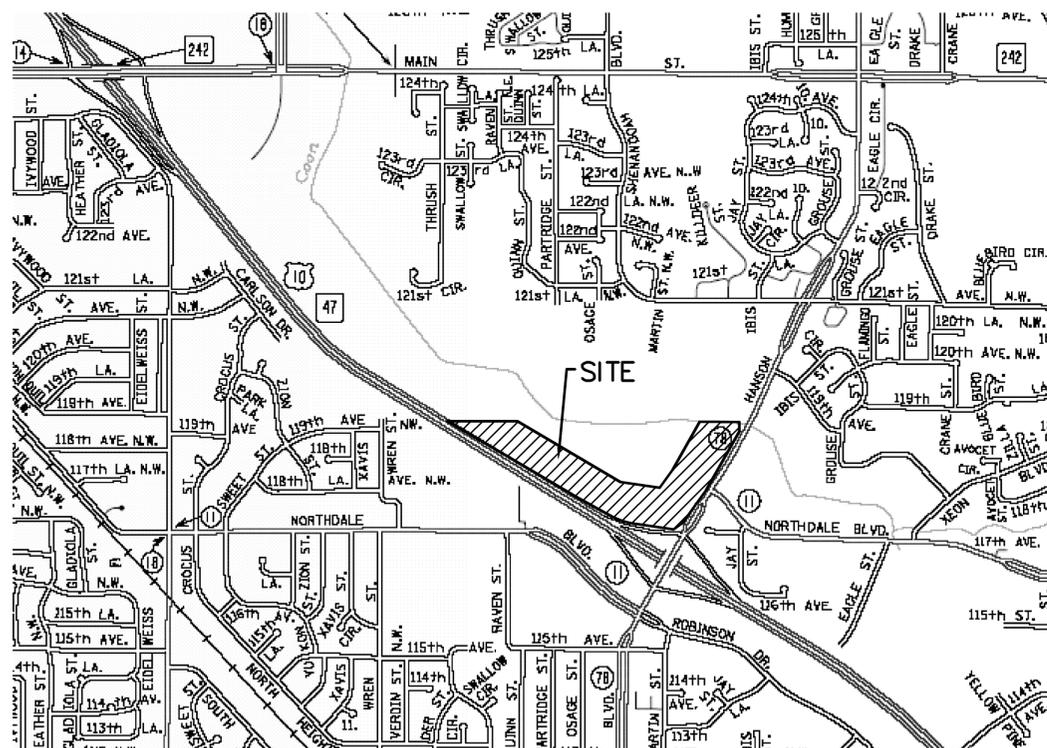
Coon Rapids, Minnesota

Presented by:

H&W Family LLLP

LEGEND

- EXISTING CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING STORM SEWER
- EXISTING WETLAND LIMIT
- 100 YR. HWL 857.4 CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED CONTOUR BY OTHERS (HANSON BLVD/HWY 10)
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER (CONSTRUCTED WITH STREET AND INDIVIDUAL SITE IMPROVEMENTS)
- PROPOSED SURCHARGE AREA
- SILT FENCE
- SITE DRAINAGE DIRECTION
- FLOODWAY BOUNDARY
- EMERGENCY OVERFLOW
- SOIL BORINGS BY AET 1/3/96
- SOIL BORINGS BY BRAUN 6/23/94
- SOIL BORINGS BY BRAUN 7/28/04
- SOIL BORINGS FROM URS
- SOIL BORINGS BY BRAUN 12/30/04
- TEST PITS BY ENEBAK 1/9/07
- ROCK CONSTRUCTION ENTRANCE
- PROPOSED RETAINING WALL
- BIOROLL
- EXISTING UNDERGROUND POWER
- EXISTING OVERHEAD POWER LINE
- EXISTING TRAFFIC SIGNAL POWER
- EXISTING EXISTING UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND TELEVISION
- EXISTING NATURAL GAS LINE
- EXISTING MNDOT TRAFFIC MANAGEMENT SYSTEM



SHEET INDEX

- C.1.01 TITLE SHEET
 - C.2.01 GRADING SUMMARY
 - C.3.01 BUSINESS CENTER GRADING PLAN
 - C.3.02 BUSINESS CENTER GRADING PLAN
 - C.3.03 MITIGATION GRADING PLAN
 - C.3.04 MITIGATION GRADING PLAN (EAST)-WORK DELETED, 12-8-06
 - C.6.01-6.04 STORM WATER PLAN DETAIL
 - C.7.01-7.04 EROSION AND SEDIMENT CONTROL PLAN
 - C.9.01 DETAIL SHEET
- (15 TOTAL SHEETS)

PLAN REVISIONS

| No. | Date | Sheets |
|-----|----------|------------------------------------|
| I | 1/16/07 | 2.01, 3.01, 3.02, 6.01, 6.02, 6.03 |
| J | 2/15/07 | 3.01 |
| | 3/05/07 | 2.01, 3.01, 3.02, 3.03 |
| K | 11/15/07 | 2.01, 3.01, 3.02, 3.03, 7.03 |
| M | 5/08/09 | 2.01, 3.02, 6.01, 6.02 |

GATEWAY
COMMERCE CENTER
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
TITLE SHEET

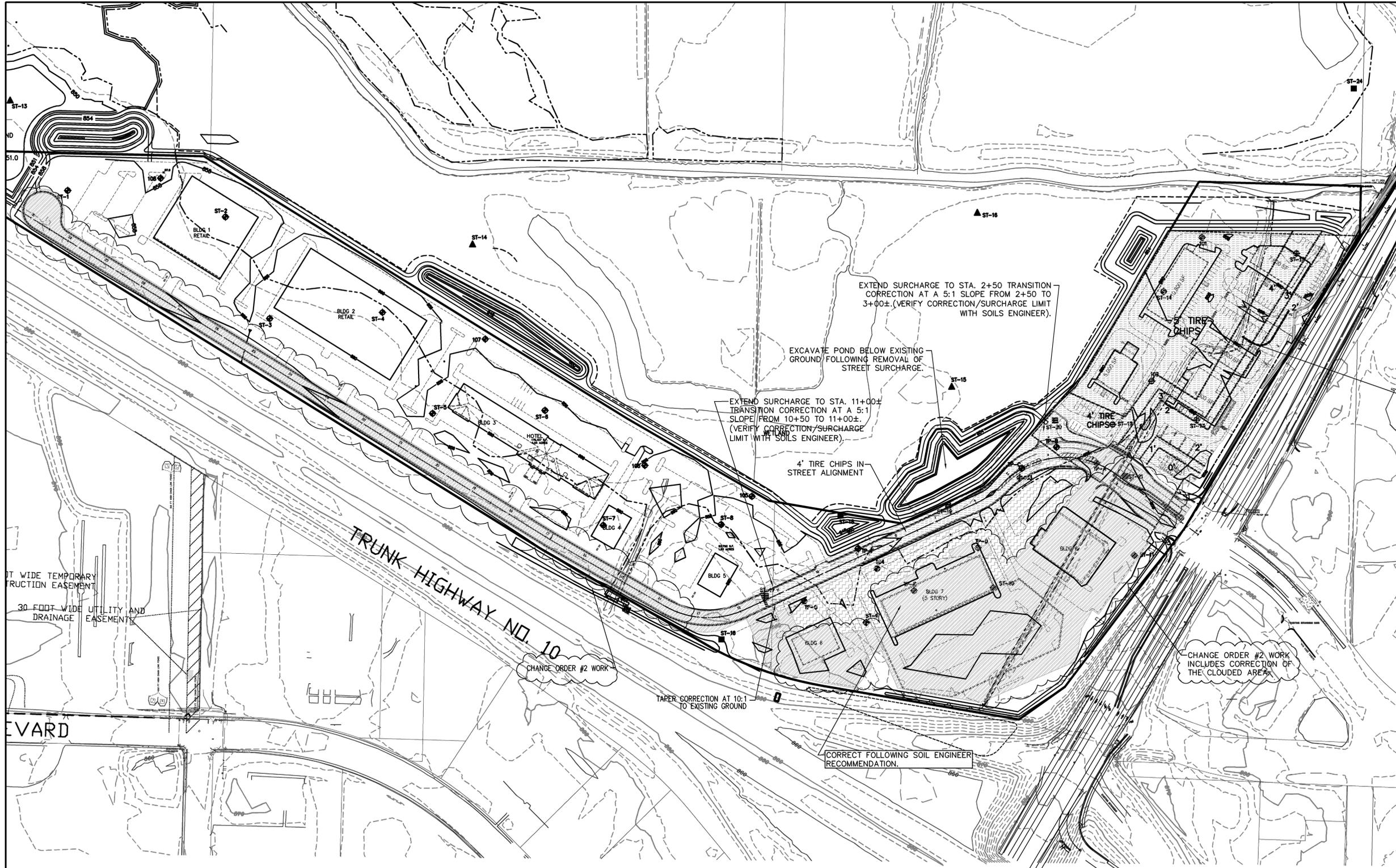
Engineering • Planning • Surveying
15050 23rd Avenue North
Plymouth Minnesota 55447
phone 763/476-6010
fax 763/476-8532
MFRA
McCombs Frank Roos
Associates, Inc.

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NGS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature *Mark Anderson*
Name MARK ANDERSON
Date 10/8/07 License # 23450

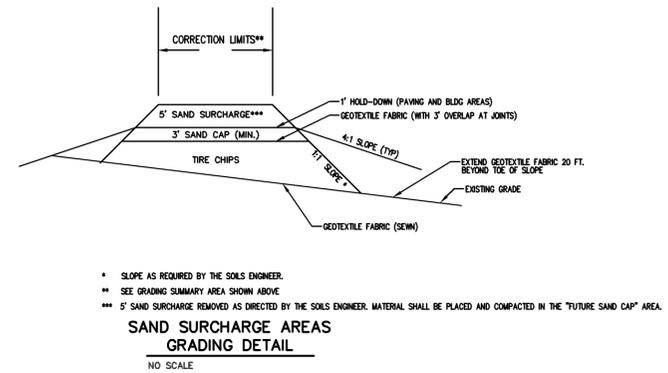
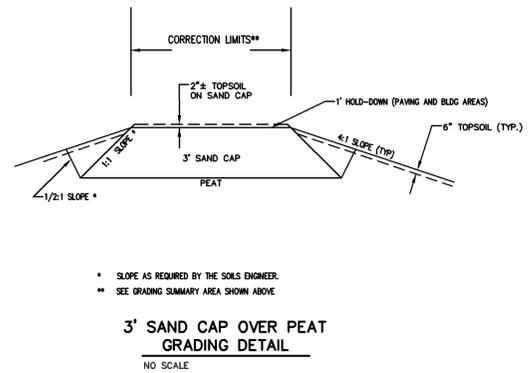
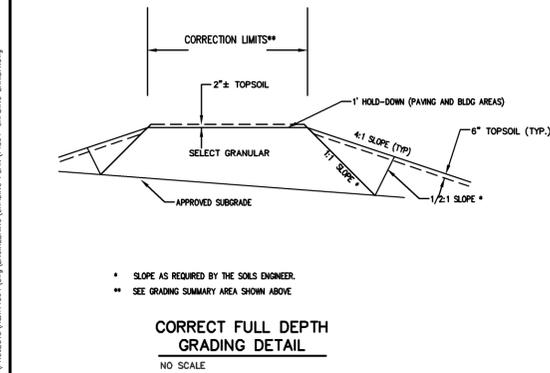
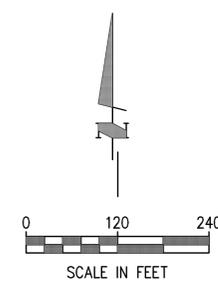
| Revisions | No. | Date | By | Remarks |
|-----------|-----|----------|-----|---------------------------------------|
| | E | 12/29/04 | NGS | REV PER COON CREEK WATERSHED DISTRICT |
| | F | 8/29/05 | NGS | REVISED ROGERS MITIGATION AREA |
| | G | 12/8/06 | NGS | DELETED ROGERS MITIGATION AREA |
| | H | 12/27/08 | NGS | REVISED INTERNAL GRADES |
| | I | 12/29/08 | NGS | APPROVED FOR CONSTRUCTION |
| | M | 5/8/09 | CB | REVISED PUD APPLICATION |

SHEET NUMBER
C-1.01
REV.
M
MFRA FILE # 14864



- PROPOSED EARTHWORK**
- CORRECT FULL DEPTH
 - 3' SAND CAP TO 1 FOOT HOLD-DOWN OVER PEAT
 - SAND SURCHARGE (W/TIRE CHIPS)
 - FUTURE 3' SAND CAP TO 1 FOOT HOLD-DOWN USING SAND SURCHARGE MATERIAL (LOT AREA NORTH OF ROAD FROM STA 12+00± TO STA 30+00±)

NOTE: CHANGE ORDER #2 WORK IN THIS SURCHARGE AREA INCLUDES PLACEMENT OF ON SITE SOILS AS DIRECTED BY SOILS ENGINEER AND GEOTEXTILE FABRIC.



GATEWAY COMMERCE CENTER
COON RAPIDS, MINNESOTA
H & W FAMILY LIMITED PARTNERSHIP
GRADING SUMMARY

MFRA
Engineering • Planning • Surveying
14800 Ave. N., Suite 140
Plymouth, Minnesota 55447
Phone 763/478-8010
Fax 763/478-8532
McCombs Frank Raus
Associates, Inc.

| | | | |
|----------|---------|-----|-----|
| Designed | MCA/NCS | JPF | MCA |
| Drawn | JPF | MCA | MCA |
| Checked | MCA | MCA | MCA |
| Approved | MCA | MCA | MCA |

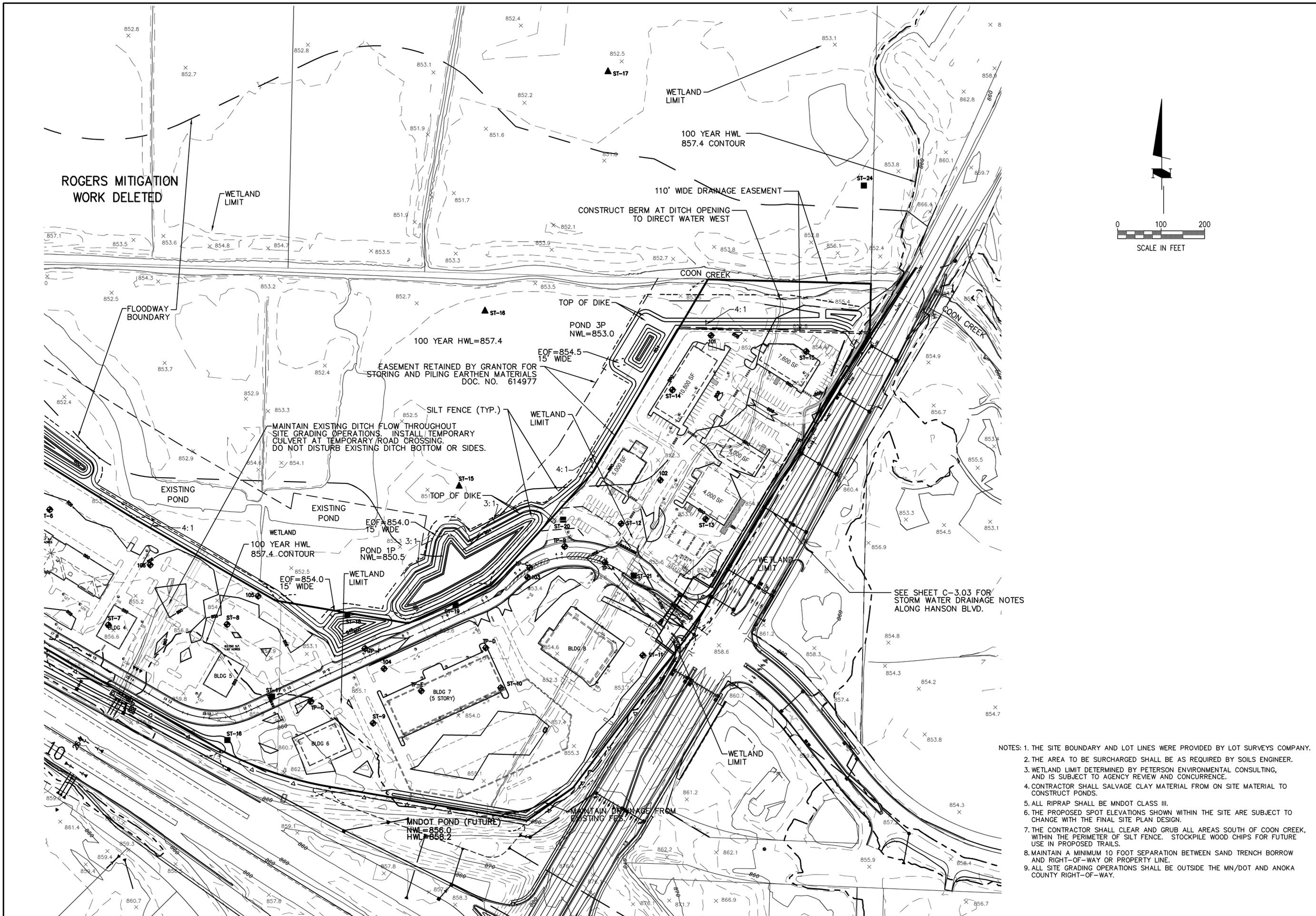
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature: *Mark Anderson*
Name: MARK ANDERSON
Date: 10/28/07 License # 23450

| Revisions | Date | By | Remarks |
|-----------|----------|-----|--|
| A | 1/16/07 | NCS | REVISED SURCHARGE AREA, DELETE |
| B | 2/5/07 | NCS | REVISED BUILDING CORRECTION |
| C | 3/27/07 | NCS | REVISED CHIP DEPTHS AND AREAS |
| K | 11/15/07 | NCS | REVISED LOCATION OF BLDG 8, CORRECT BLDG 1 & 2 |
| M | 5/08/09 | CJB | REVISED SITE PLANS & GRADES |
| | | | CJB REVISED PUD APPLICATION |

| | |
|--------------|------|
| SHEET NUMBER | REV. |
| C.2.01 | M |

MFRA FILE # 14864

May 27, 2009 - 11:50am - USER: L35
L:\PROJECTS\14864\14864.dwg



- NOTES: 1. THE SITE BOUNDARY AND LOT LINES WERE PROVIDED BY LOT SURVEYS COMPANY.
 2. THE AREA TO BE SURCHARGED SHALL BE AS REQUIRED BY SOILS ENGINEER.
 3. WETLAND LIMIT DETERMINED BY PETERSON ENVIRONMENTAL CONSULTING, AND IS SUBJECT TO AGENCY REVIEW AND CONCURRENCE.
 4. CONTRACTOR SHALL SALVAGE CLAY MATERIAL FROM ON SITE MATERIAL TO CONSTRUCT PONDS.
 5. ALL RIPRAP SHALL BE MNDOT CLASS III.
 6. THE PROPOSED SPOT ELEVATIONS SHOWN WITHIN THE SITE ARE SUBJECT TO CHANGE WITH THE FINAL SITE PLAN DESIGN.
 7. THE CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS SOUTH OF COON CREEK, WITHIN THE PERIMETER OF SILT FENCE. STOCKPILE WOOD CHIPS FOR FUTURE USE IN PROPOSED TRAILS.
 8. MAINTAIN A MINIMUM 10 FOOT SEPARATION BETWEEN SAND TRENCH BORROW AND RIGHT-OF-WAY OR PROPERTY LINE.
 9. ALL SITE GRADING OPERATIONS SHALL BE OUTSIDE THE MN/DOT AND ANOKA COUNTY RIGHT-OF-WAY.

**GATEWAY
 COMMERCE CENTER**
 COON RAPIDS, MINNESOTA
 H&W FAMILY LLLP
 GRADING PLAN

MFRA
 McCombs Frank Roos
 Associates, Inc.

Engineering • Planning • Surveying

15050 23rd Avenue North
 Plymouth Minnesota 55447
 phone 763/476-6010
 fax 763/476-8532

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Signature *Mark Anderson*
 Name MARK ANDERSON
 Date 10/8/07 License # 23450

| Revisions | By | Remarks |
|-----------|----------|---|
| J | 3/2/07 | NCS REV LOC. OF BLDG 8 REV GRADES IN BLDG 8 LOT |
| K | 11/15/07 | MFG REVISED GRADES FOR NEW SITE PLAN |
| L | 10/21/08 | CAB REV EOF GRADES |
| M | 5/8/09 | CAB PUD REVISIONS |

SHEET NUMBER **C-3.02** REV. **M**
 MFRA FILE # 14864

ROGERS MITIGATION WORK DELETED



**GATEWAY
COMMERCE CENTER**
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
GRADING PLAN (MITIGATION AREA EAST)

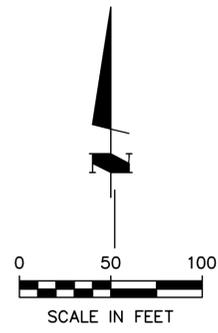
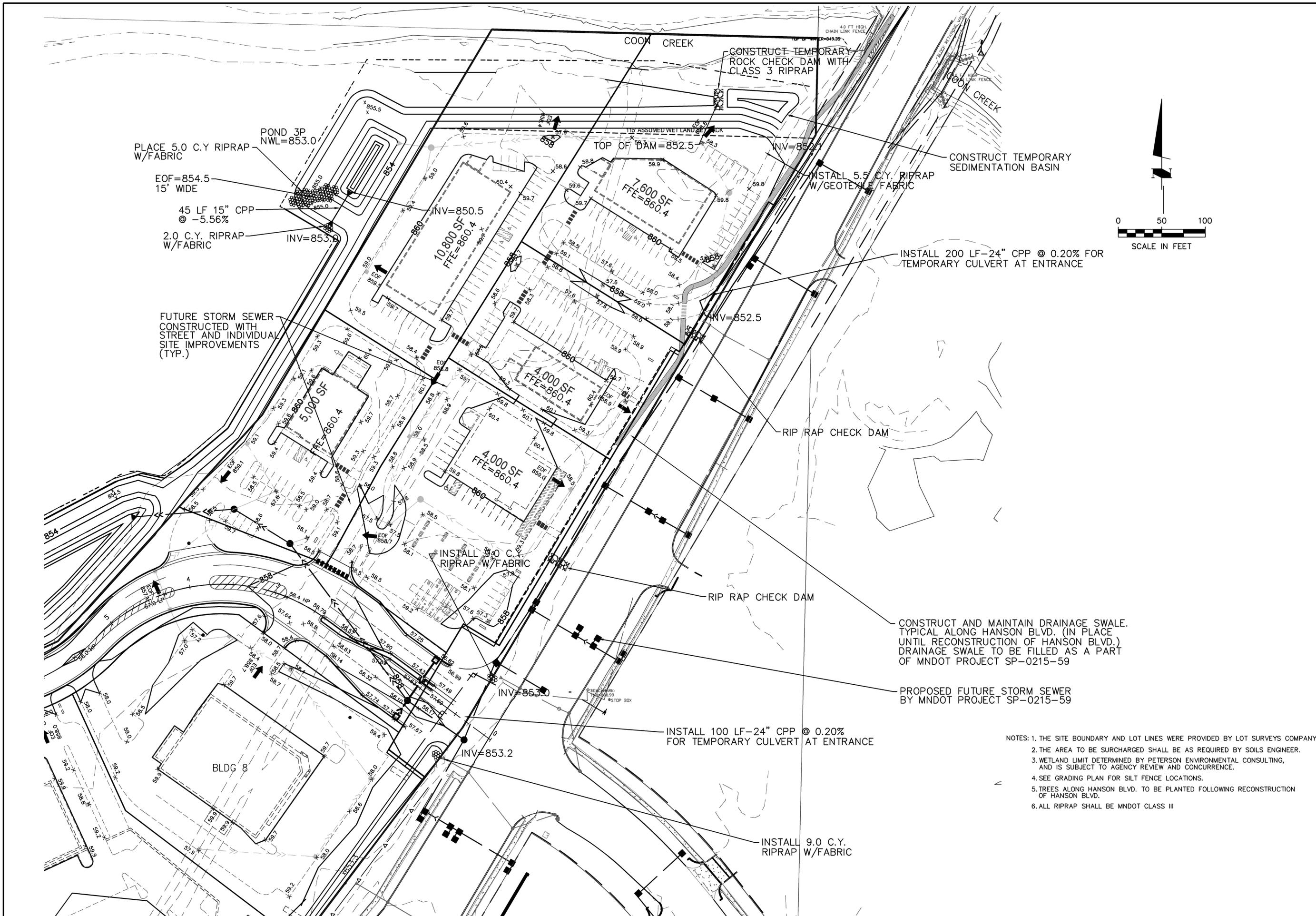
MFRA
McCombs Frank Roos
Associates, Inc.
Engineering • Planning • Surveying
15050 23rd Avenue North
Plymouth Minnesota 55447
phone 763/476-6010
fax 763/476-8532

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am duly licensed as a Professional Engineer under the laws of the State of Minnesota.
Signature *Mark Anderson*
Name MARK ANDERSON
Date 10/8/07 License # 23450

| Revisions | No. | Date | By | Remarks |
|-----------|-----|----------|-----|---|
| | B | 1/14/04 | NCS | REVISED DULVERT CROSSING, ADD RET. WALL |
| | C | 1/21/04 | NCS | REV WETLAND LIMIT PER PETERSON CONSULTING |
| | D | 11/23/04 | NCS | REV POND AREAS, REV SWALE TO WETLAND |
| | E | 12/29/04 | NCS | REV PER WATERSHED COMMENTS |
| | F | 1/8/05 | NCS | REV PER COON CREEK WATERSHED DISTRICT |
| | G | 12/18/05 | NCS | REVISED ROGERS MITIGATION AREA |
| | H | 12/22/06 | NCS | REVISED INTERNAL GRADES |

SHEET NUMBER **C-3.04** REV. **H**
MFRA FILE # 14864



**GATEWAY
COMMERCE CENTER**
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
STORM WATER PLAN DETAIL

MFRA
McCombs Frank Roos
Associates, Inc.
Engineering • Planning • Surveying
15050 23rd Avenue North
Plymouth Minnesota 55447
phone 763/476-6010
fax 763/476-8632

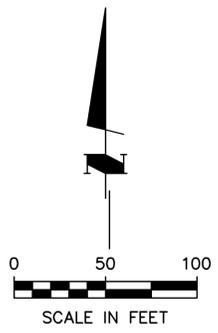
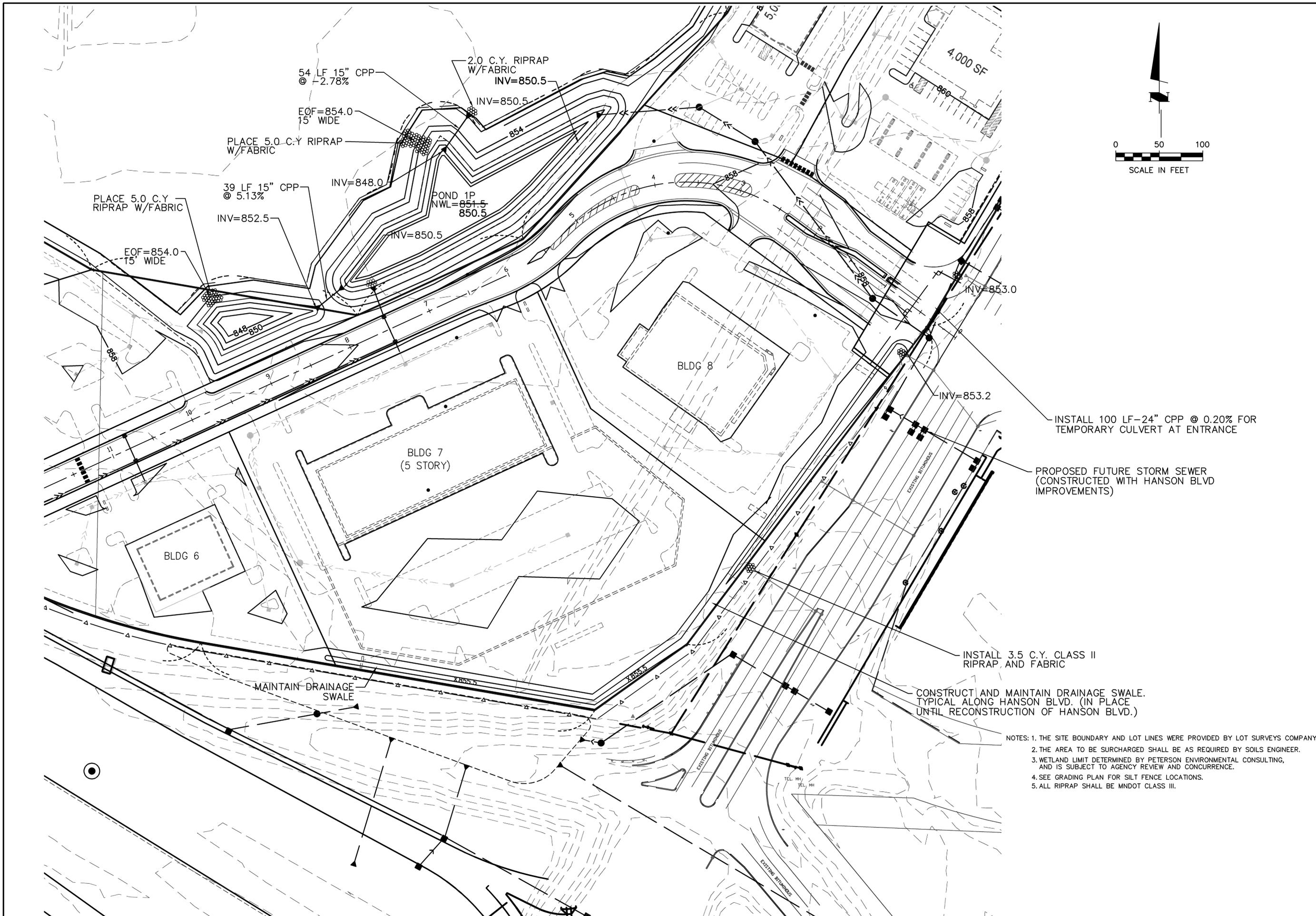
| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
Signature *Mark Anderson*
Name MARK ANDERSON
Date 10/8/07 License # 23450

| Revisions | By | Remarks | |
|-----------|----------|---------|---------------------------------------|
| C | 1/21/04 | NCS | REVISED PER WATERSHED COMMENTS |
| E | 12/29/04 | NCS | REV PER COON CREEK WATERSHED DISTRICT |
| F | 12/21/06 | JFF | REV INTERNAL STORM SEWER |
| G | 1/16/07 | NCS | ADD RIP RAP CHECK DAMS. |
| M | 5/8/08 | C.B. | PUD REVISIONS |

SHEET NUMBER **C-6.01** REV. **M**
MFRA FILE # 14864

- NOTES: 1. THE SITE BOUNDARY AND LOT LINES WERE PROVIDED BY LOT SURVEYS COMPANY.
2. THE AREA TO BE SURCHARGED SHALL BE AS REQUIRED BY SOILS ENGINEER.
3. WETLAND LIMIT DETERMINED BY PETERSON ENVIRONMENTAL CONSULTING, AND IS SUBJECT TO AGENCY REVIEW AND CONCURRENCE.
4. SEE GRADING PLAN FOR SILT FENCE LOCATIONS.
5. TREES ALONG HANSON BLVD. TO BE PLANTED FOLLOWING RECONSTRUCTION OF HANSON BLVD.
6. ALL RIPRAP SHALL BE MNDOT CLASS III



INSTALL 100 LF-24" CPP @ 0.20% FOR TEMPORARY CULVERT AT ENTRANCE

PROPOSED FUTURE STORM SEWER (CONSTRUCTED WITH HANSON BLVD IMPROVEMENTS)

INSTALL 3.5 C.Y. CLASS II RIPRAP AND FABRIC

CONSTRUCT AND MAINTAIN DRAINAGE SWALE TYPICAL ALONG HANSON BLVD. (IN PLACE UNTIL RECONSTRUCTION OF HANSON BLVD.)

- NOTES: 1. THE SITE BOUNDARY AND LOT LINES WERE PROVIDED BY LOT SURVEYS COMPANY.
 2. THE AREA TO BE SURCHARGED SHALL BE AS REQUIRED BY SOILS ENGINEER.
 3. WETLAND LIMIT DETERMINED BY PETERSON ENVIRONMENTAL CONSULTING, AND IS SUBJECT TO AGENCY REVIEW AND CONCURRENCE.
 4. SEE GRADING PLAN FOR SILT FENCE LOCATIONS.
 5. ALL RIPRAP SHALL BE MNDOT CLASS III.

**GATEWAY
COMMERCE CENTER**
 COON RAPIDS, MINNESOTA
 H&W FAMILY LLLP
 STORM WATER PLAN DETAIL

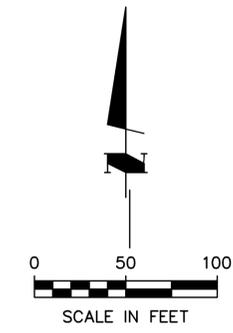
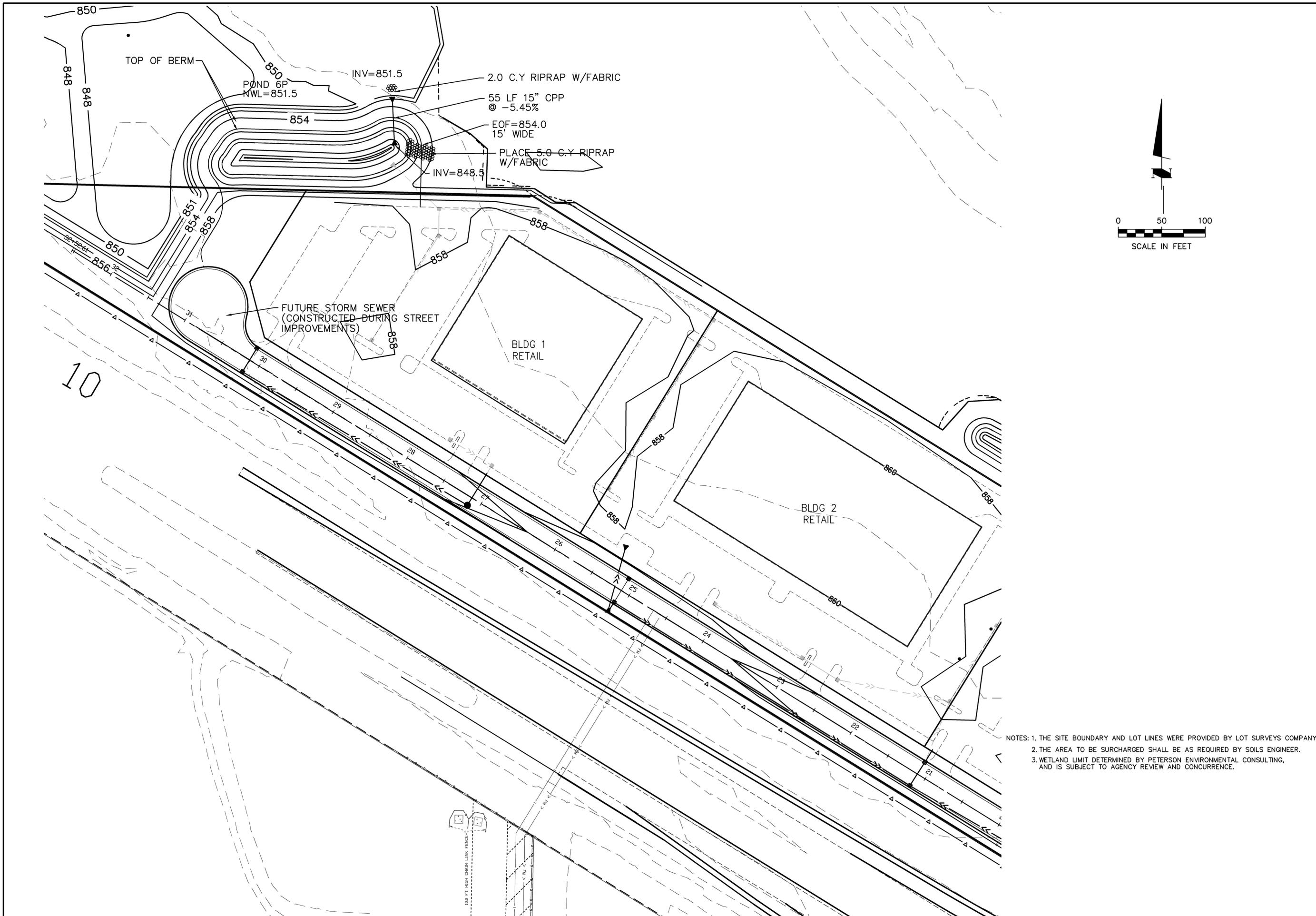
MFRA
 Engineering • Planning • Surveying
 15050 23rd Avenue North
 Plymouth Minnesota 55447
 phone 763/476-6010
 fax 763/476-8632
 McCombs Frank Roos
 Associates, Inc.

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
 Signature *Mark Colburn*
 Name MARK ANDERSON
 Date 10/8/07 License # 23450

| Revisions | By | Remarks |
|-----------|----------|---|
| D | 11/23/04 | NCS REVISED PER WATERSHED COMMENTS |
| E | 12/29/04 | NCS REV PER COON CREEK WATERSHED DISTRICT |
| F | 12/21/06 | JPF REV INTERNAL STORM SEWER |
| G | 1/16/07 | NCS DELETE TEMPORARY CULVERT S. OF ENTRANCE |
| M | 5/08/08 | CJB/PJD REV POND 1P OUTLET PIPE |
| | | CJB/PJD REVISIONS |

SHEET NUMBER **C-6.02** REV. **M**
 MFRA FILE # 14864



NOTES: 1. THE SITE BOUNDARY AND LOT LINES WERE PROVIDED BY LOT SURVEYS COMPANY.
 2. THE AREA TO BE SURCHARGED SHALL BE AS REQUIRED BY SOILS ENGINEER.
 3. WETLAND LIMIT DETERMINED BY PETERSON ENVIRONMENTAL CONSULTING,
 AND IS SUBJECT TO AGENCY REVIEW AND CONCURRENCE.

**GATEWAY
 COMMERCE CENTER**
 COON RAPIDS, MINNESOTA
 H&W FAMILY LLLP
 STORM WATER PLAN DETAIL

MFRA
 Engineering • Planning • Surveying
 15050 23rd Avenue North
 Plymouth Minnesota 55447
 phone 763/476-6010
 fax 763/476-8632
 McCombs Frank Roos
 Associates, Inc.

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

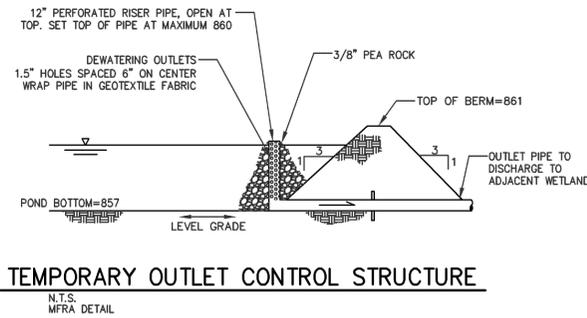
I hereby certify that this plan was prepared by me or under my direct supervision and that an duly licensed Professional Engineer under the laws of the State of Minnesota.
 Signature *Mark Anderson*
 Name MARK ANDERSON
 Date 10/8/07 License # 23450

| Revisions | By | Remarks |
|-----------|----------|--|
| C | 19/21/04 | INCS REV POND AREAS |
| D | 11/23/04 | INCS REVISED PER WATERSHED COMMENTS |
| E | 12/29/04 | INCS REV PER COON CREEK WATERSHED DISTRICT |
| F | 12/21/06 | IPF REV INTERNAL STORM SEWER |

| | |
|-------------------|----------|
| SHEET NUMBER | REV. |
| C-6.04 | F |
| MFRA FILE # 14864 | |

LEGEND

- PROPERTY LIMIT
- EXISTING CONTOURS
- 1
C-7.04
SILT FENCE (LIMIT OF DISTURBANCE)
- DIRECTION OF OVERLAND FLOW (PRE-CONSTRUCTION)
- 2
C-7.04
TEMPORARY DIVERSION DITCH
- 3
C-7.04
ROCK CHECK DAM
- 4
C-7.04
TEMPORARY STONE CONSTRUCTION ENTRANCE
- TEMPORARY SEDIMENT BASIN (SB)
- TEMPORARY STORAGE AND PARKING AREA (TSP)



SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | JAN | FEB | MAR | APR | MAY | JUN | |
|--------------------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|--|
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | | | | | | | | |
| STRIP & STOCKPILE TOPSOIL | | | | | | | | | | | | | | | | | | | |
| ROUGH GRADE / SEDIMENT CONTROL | | | | | | | | | | | | | | | | | | | |
| TEMPORARY CONSTRUCTION ROADS | | | | | | | | | | | | | | | | | | | |
| FOUNDATION / BUILDING CONSTRUCTION | | | | | | | | | | | | | | | | | | | |
| SITE CONSTRUCTION | | | | | | | | | | | | | | | | | | | |
| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL STABILIZATION | | | | | | | | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | | | | | | | | |

SEQUENCE OF CONSTRUCTION

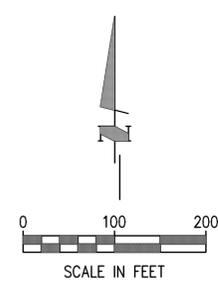
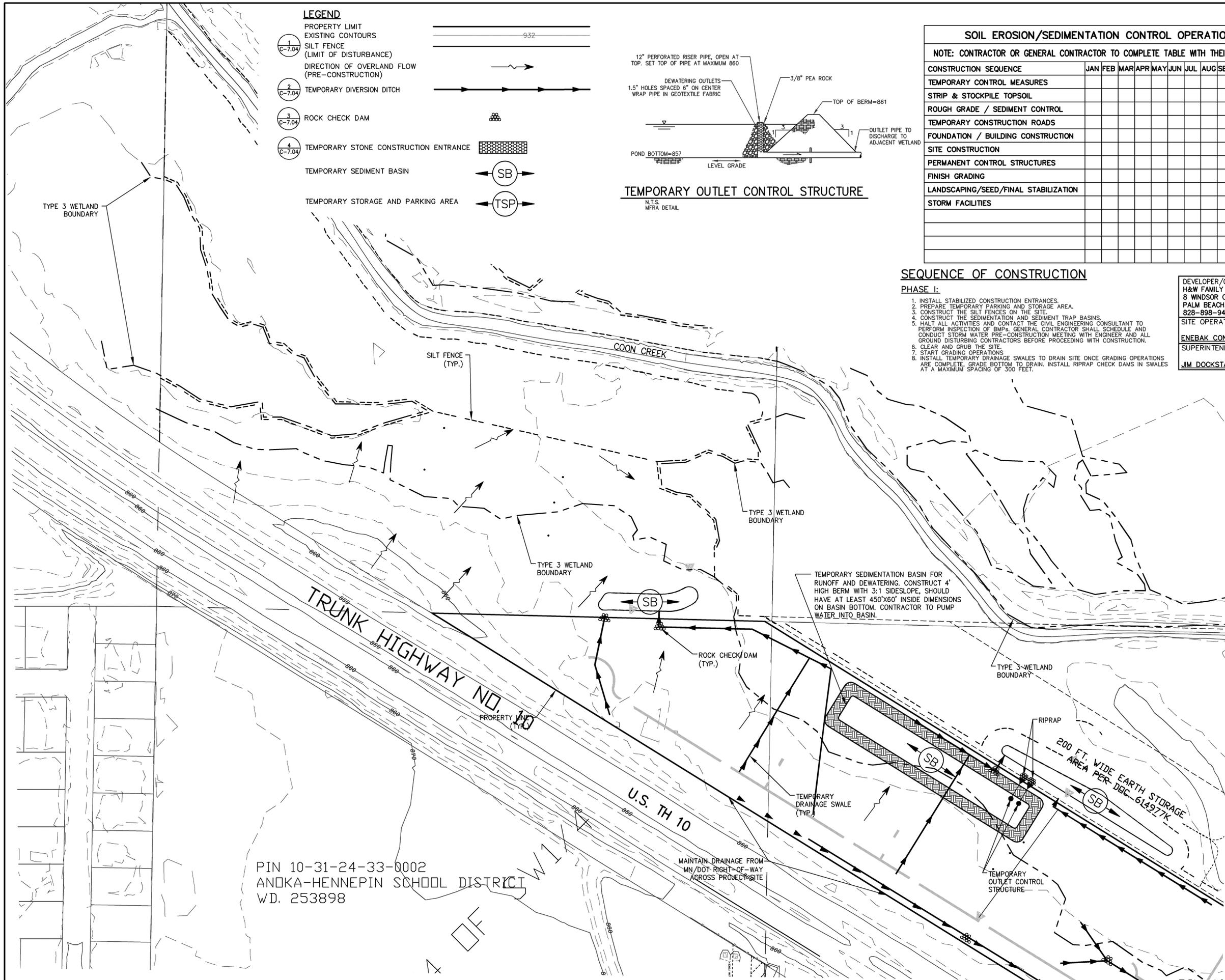
PHASE I:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
6. CLEAR AND GRUB THE SITE.
7. START GRADING OPERATIONS.
8. INSTALL TEMPORARY DRAINAGE SWALES TO DRAIN SITE ONCE GRADING OPERATIONS ARE COMPLETE. GRADE BOTTOM TO DRAIN. INSTALL RIPRAP CHECK DAMS IN SWALES AT A MAXIMUM SPACING OF 300 FEET.

DEVELOPER/OWNER:
H&W FAMILY LLLP
8 WINDSOR COURT
PALM BEACH, FL 33480
828-898-9477

SITE OPERATOR/CONTRACTOR/GENERAL CONTRACTOR
ENEBAK CONSTRUCTION COMPANY

SUPERINTENDENT:
JIM DOCKSTADER



PIN 10-31-24-33-0002
ANOKA-HENNEPIN SCHOOL DISTRICT
WD. 253898

GATEWAY
COMMERCE CENTER
 COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
 PHASE 1 EROSION CONTROL PLAN

Engineering • Planning • Surveying
MFRA
 14800 28th Avenue, Suite 140
 Plymouth, Minnesota 55447
 phone 763/476-6010
 fax 763/476-8632
 McCombs Frank Ross
 Associates, Inc.

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Signature: *Mark Anderson*
 Name: **MARK ANDERSON**
 Date: 10/28/07 License # 23450

| Revisions No. | Date | By | Remarks |
|---------------|------|----|---------|
| | | | |

SHEET NUMBER **C-7.01** REV.

MFRA FILE # 14864

| SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE | | | | | | | | | | | | | | | | | | |
|---|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE | | | | | | | | | | | | | | | | | | |
| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | JAN | FEB | MAR | APR | MAY | JUN |
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | | | | | | | |
| STRIP & STOCKPILE TOPSOIL | | | | | | | | | | | | | | | | | | |
| ROUGH GRADE / SEDIMENT CONTROL | | | | | | | | | | | | | | | | | | |
| TEMPORARY CONSTRUCTION ROADS | | | | | | | | | | | | | | | | | | |
| FOUNDATION / BUILDING CONSTRUCTION | | | | | | | | | | | | | | | | | | |
| SITE CONSTRUCTION | | | | | | | | | | | | | | | | | | |
| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL STABILIZATION | | | | | | | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | | | | | | | |

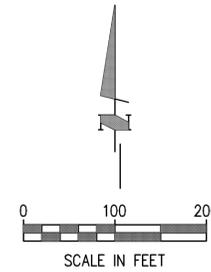
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LEGEND

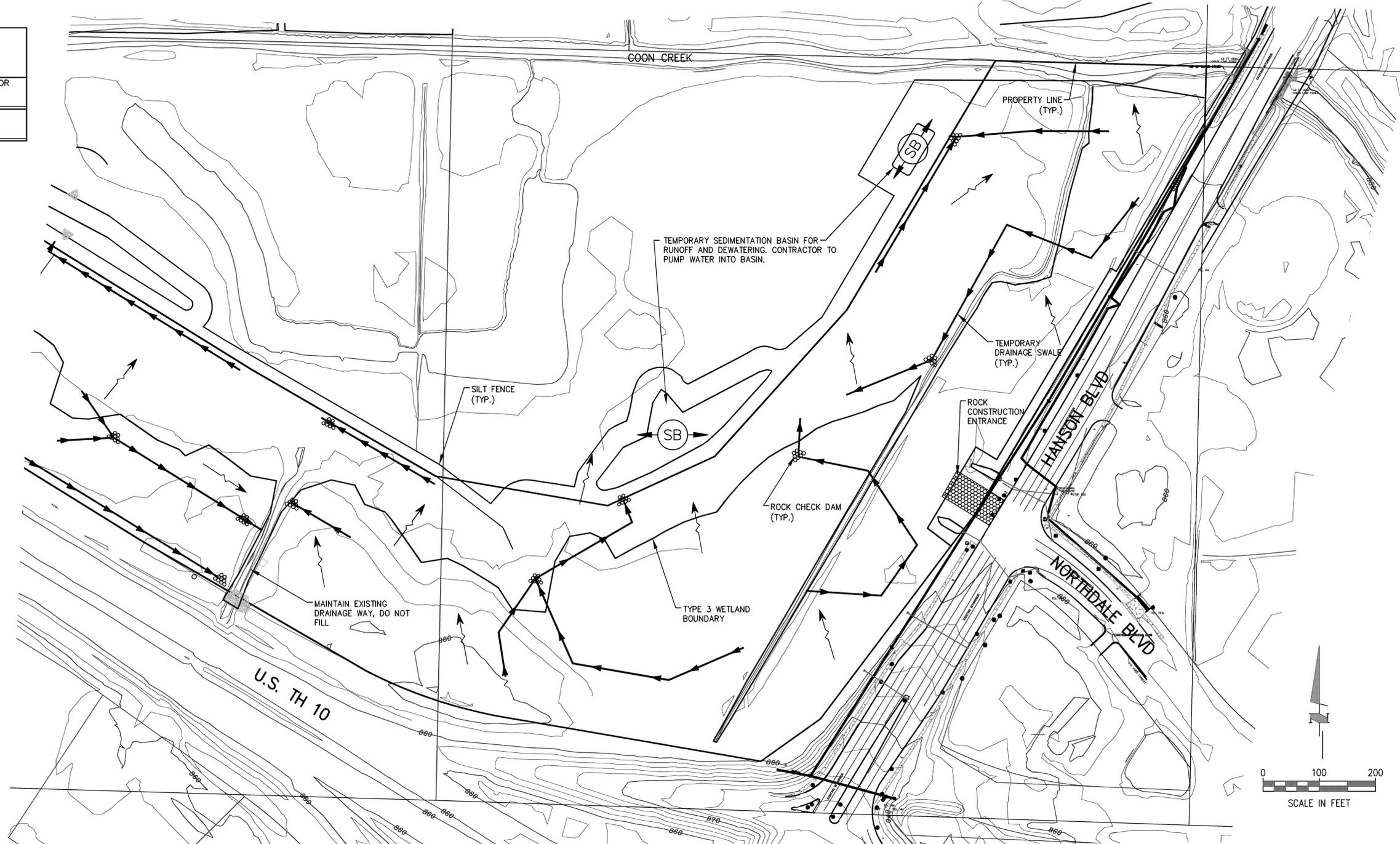
- 1
C-7.04 PROPERTY LIMIT
- 2
C-7.04 EXISTING CONTOURS
- 3
C-7.04 SILT FENCE (LIMIT OF DISTURBANCE)
- 4
C-7.04 DIRECTION OF OVERLAND FLOW (PRE-CONSTRUCTION)
- 2
C-7.04 TEMPORARY DIVERSION DITCH
- 3
C-7.04 ROCK CHECK DAM
- 4
C-7.04 TEMPORARY STONE CONSTRUCTION ENTRANCE
- TEMPORARY SEDIMENT BASIN (SB)
- TEMPORARY STORAGE AND PARKING AREA (TSP)



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8 WINDSOR COURT
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COMMERCE CENTER
COON RAPIDS, MINNESOTA
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PHASE 1 EROSION CONTROL PLAN

Engineering • Planning • Surveying
14800 28th Avenue, Suite 140
Plymouth, Minnesota 55447
phone 763/476-6010
fax 763/476-8632



| | |
|----------|----------|
| Designed | MCA |
| Drawn | NGS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Mark Anderson*
Name: MARK ANDERSON
Date: 10/28/07 License # 23450

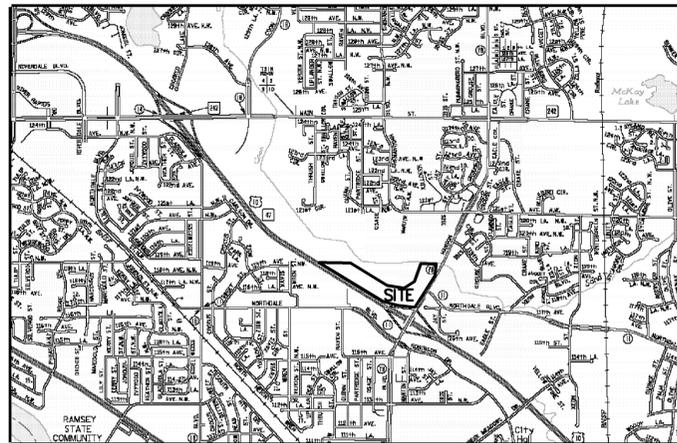
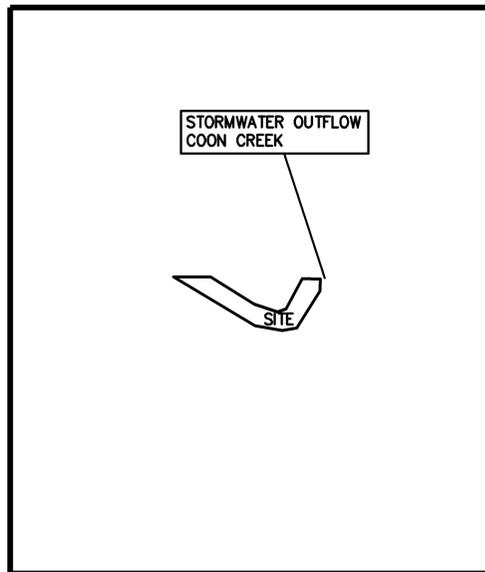
| REVISIONS | No. | Date | By | Remarks |
|-----------|-----|------|----|---------|
| | | | | |
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SHEET NUMBER
C-7.02

REV.

MFRA FILE # 14864

EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"

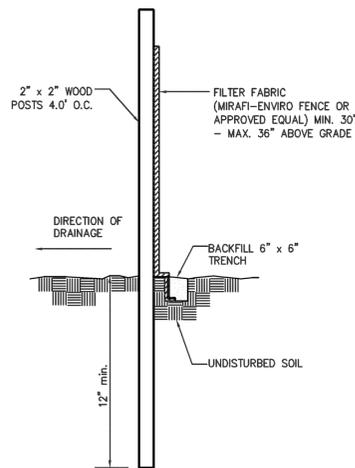


SITE LOCATION MAP

NOT TO SCALE

USGS MAP

NOT TO SCALE



SILT FENCE DETAIL

NO SCALE REV 1-06

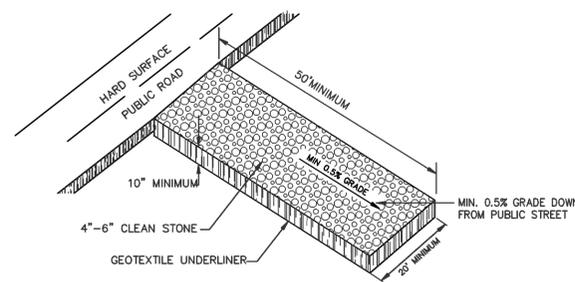
1

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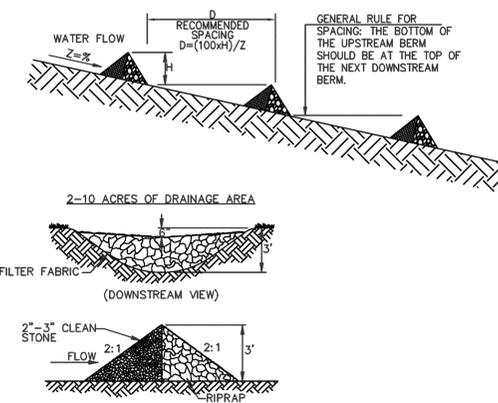
| ACREAGE SUMMARY in ACRES | |
|-----------------------------|----------|
| PAVEMENT AREA | N/A |
| BUILDING AREA | N/A |
| SEEDDED AREA | N/A |
| TOTAL DISTURBED | 57.9 AC± |



TEMPORARY STONE CONSTRUCTION ENTRANCE

N.T.S. TYPICAL DETAIL - UPDATE TO MATCH SITE CONFIGURATION 10/01/04

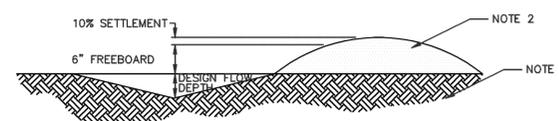
4



ROCK CHECK DAM

N.T.S. TYPICAL DETAIL - UPDATE TO MATCH SITE CONFIGURATION 12/17/04

3



TEMPORARY DIVERSION DITCH

N.T.S. TYPICAL DETAIL - UPDATE TO MATCH SITE CONFIGURATION 10/01/04

2

- NOTES:
1. REMOVE ANY EXISTING VEGETATION AND SCARIFY OR BENCH ADJACENT SOILS PRIOR TO PLACING BERM.
 2. BERM MATERIALS MUST BE ADEQUATELY COMPACTED AND STABILIZED.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | JAN | FEB | MAR | APR | MAY | JUN | |
|--------------------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|--|
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | | | | | | | | |
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| ROUGH GRADE / SEDIMENT CONTROL | | | | | | | | | | | | | | | | | | | |
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| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL STABILIZATION | | | | | | | | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | | | | | | | | |

GENERAL EROSION NOTES:

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND MFRA STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT ALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002

THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN AERIAL SURVEY OBTAINED FROM THE CITY OF COON RAPIDS.

THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES OCCURRING TO THE ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SITEWORK SPECIFICATIONS SECTION 02370 (SWPPP), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. **THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.**

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. THE CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS.

GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.

SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO ANY SITEWORK.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDDED. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SPEC. 2575 @ 100LBS/ACRE (OR APPROVED EQUAL) AND IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:

| TYPE OF SLOPE | TIME | (MAX TIME AN AREA CAN REMAIN OPEN WHEN THE AREA IS NOT ACTIVELY BEING WORKED) |
|-------------------|---------|---|
| STEEPER THAN 3:1 | 7 DAYS | |
| 10:1 TO 3:1 | 14 DAYS | |
| FLATTER THAN 10:1 | 21 DAYS | |

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDDED. THESE AREAS SHALL BE SEEDDED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.

CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.

ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION MUST BE PROTECTED BY APPROPRIATE BMP'S UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED, REPLACED OR SUPPLEMENTED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
4. VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE MUST BE MINIMIZED BY BMP'S SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREET SWEEPING MUST BE USED IF SUCH BMP'S ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES WITHIN 24 HOURS OF DISCOVERY OR SOONER.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE TEMPORARY AND PERMANENT SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY REACHES ONE-HALF THE STORAGE VOLUME. DRAINAGE & REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

GATEWAY
COMMERCE CENTER
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
PHASE 1 EROSION CONTROL PLAN

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14800 28th Avenue, Suite 140
Plymouth, Minnesota 55447
phone 763/476-6010
fax 763/476-8632

MFRA
McCombs Frank Rode Associates, Inc.

Designed MCA
Drawn NCS
Date 12-22-06
Checked MCA
Approved MCA

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature *Mark Anderson*
Name: MARK ANDERSON
Date: 10/28/07 License # 23450

| Revisions | Date | By | Remarks |
|-----------|------|----|---------|
| | | | |
| | | | |
| | | | |

SHEET NUMBER
C-7.04
REV.

MFRA FILE # 14864

LEGEND

- 1. PROPERTY LIMIT
- 2. EXISTING CONTOURS
- 3. SILT FENCE (LIMIT OF DISTURBANCE)
- 4. DIRECTION OF OVERLAND FLOW (PRE-CONSTRUCTION)
- 5. TEMPORARY DIVERSION DITCH
- 6. ROCK CHECK DAM
- 7. TEMPORARY STONE CONSTRUCTION ENTRANCE
- 8. TEMPORARY SEDIMENT BASIN
- 9. TEMPORARY STORAGE AND PARKING AREA

SEQUENCE OF CONSTRUCTION

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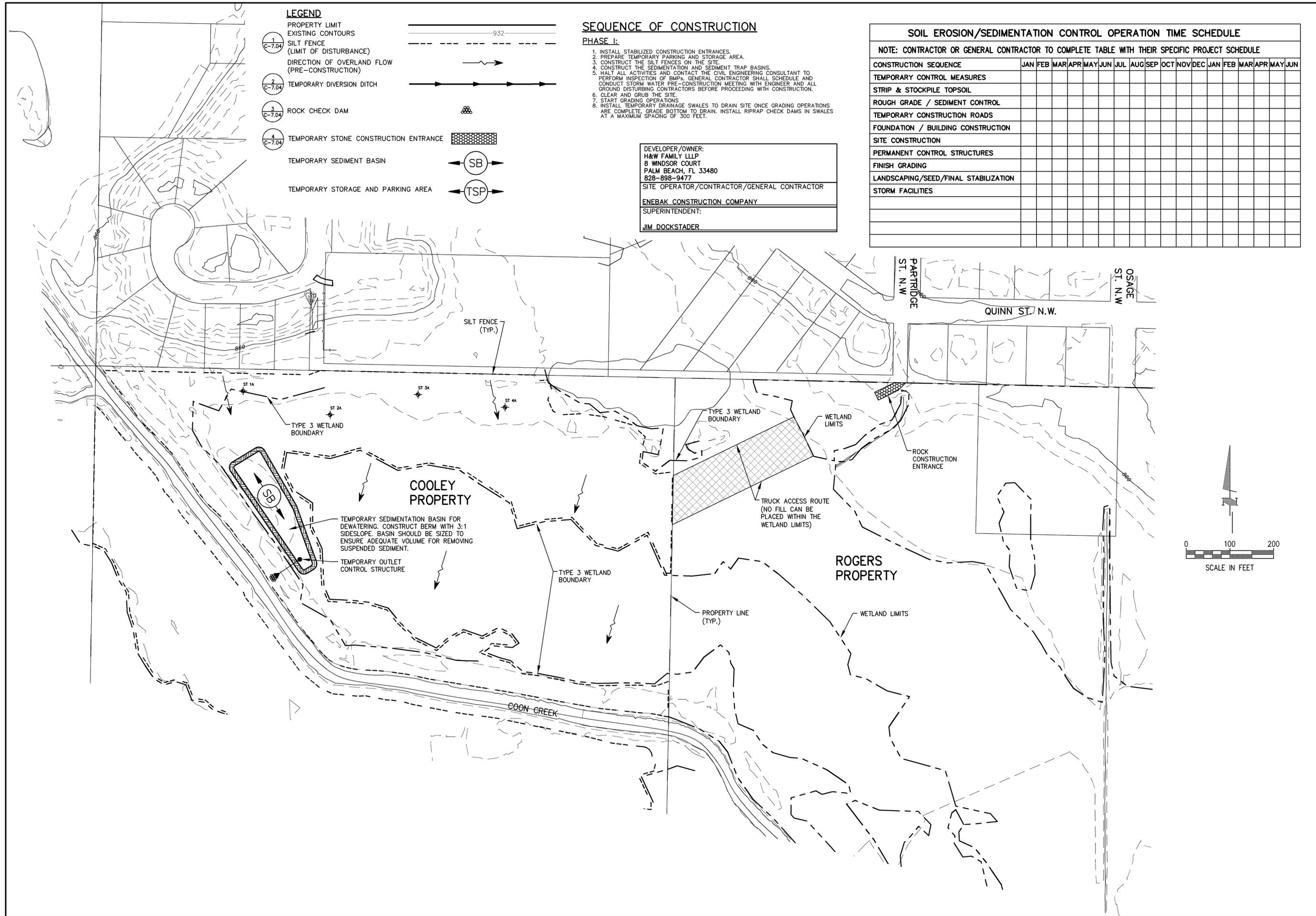
SITE OPERATOR/CONTRACTOR/GENERAL CONTRACTOR
ENEBAK CONSTRUCTION COMPANY

SUPERINTENDENT:
JIM DOCKSTADER

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

| CONSTRUCTION SEQUENCE | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | JAN | FEB | MAR | APR | MAY | JUN | |
|--------------------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|--|
| TEMPORARY CONTROL MEASURES | | | | | | | | | | | | | | | | | | | |
| STRIP & STOCKPILE TOPSOIL | | | | | | | | | | | | | | | | | | | |
| ROUGH GRADE / SEDIMENT CONTROL | | | | | | | | | | | | | | | | | | | |
| TEMPORARY CONSTRUCTION ROADS | | | | | | | | | | | | | | | | | | | |
| FOUNDATION / BUILDING CONSTRUCTION | | | | | | | | | | | | | | | | | | | |
| SITE CONSTRUCTION | | | | | | | | | | | | | | | | | | | |
| PERMANENT CONTROL STRUCTURES | | | | | | | | | | | | | | | | | | | |
| FINISH GRADING | | | | | | | | | | | | | | | | | | | |
| LANDSCAPING/SEED/FINAL STABILIZATION | | | | | | | | | | | | | | | | | | | |
| STORM FACILITIES | | | | | | | | | | | | | | | | | | | |



GATEWAY
COMMERCE CENTER
 COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
 PHASE 1 EROSION CONTROL PLAN

MFRA
 14800 28th Avenue, Suite 140
 Plymouth, Minnesota 55447
 phone 763/476-6010
 fax 763/476-8632
 McCombis Frank Rios
 Associates, Inc.

| | | | |
|----------|----------|---------|-----|
| Designed | MCA | Drawn | NGS |
| Date | 12-22-06 | Checked | MCA |
| Approved | MCA | | |

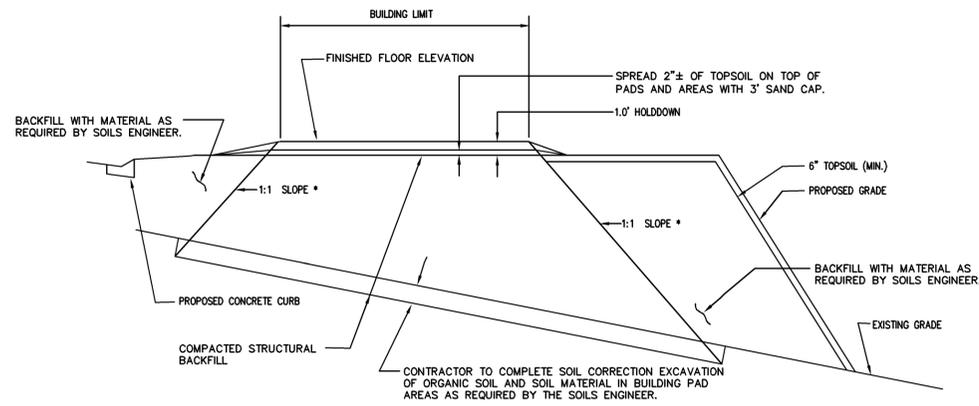
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature: *Mark Anderson*
 Name: MARK ANDERSON
 Date: 10/28/07 License # 23450

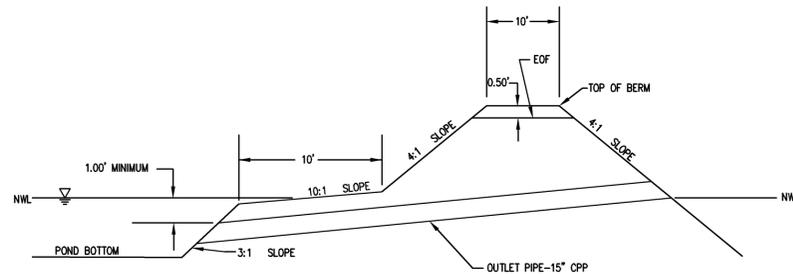
| Revisions | Date | By | Remarks |
|-----------|----------|-----|--------------------------------|
| K | 11/15/07 | MCA | TEMPORARY SEDIMENT BASIN ADDED |

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|---------------|----------|
| SHEET NUMBER | REV. |
| C-7.03 | K |

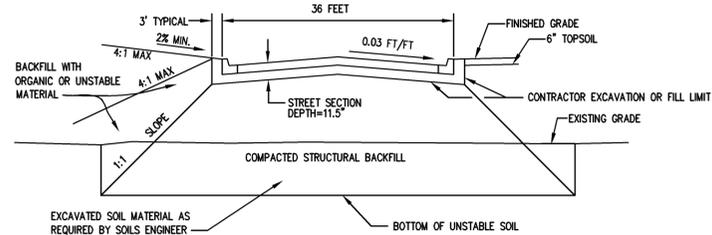
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TYPICAL BUILDING PAD GRADING DETAIL



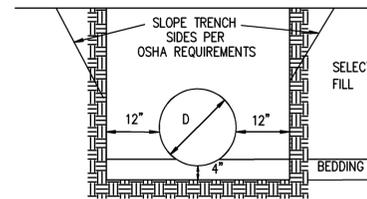
TYPICAL GRADING AND OUTLET DETAIL OF PONDS
NO SCALE



TYPICAL GRADING DETAIL OF PUBLIC STREETS
NO SCALE

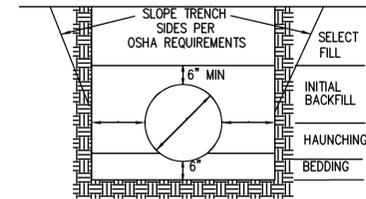
SITE GRADING NOTES

- A. PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
- B. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT ALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING COOPER STATE ONE CALL (1-800-252-1166).
- C. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- E. SILTATION AND EROSION CONTROL: THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. ALL EROSION CONTROL AND SILTATION CONTROL MEASURES SHALL COMPLY WITH MINNESOTA'S BEST MANAGEMENT PRACTICES MANUAL. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED BARRIERS, ROCK ENTRANCES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES: ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY, AT HIS/HER OPTION, DIRECT THE CONTRACTOR IN HIS/HER METHODS AS SPECIFIED TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER, ALL AT THE EXPENSE OF THE CONTRACTOR. TEMPORARY AND PERMANENT SEDIMENTATION PONDS SHALL BE CONSTRUCTED WITH THE INITIAL GRADING. THE SEDIMENT MUST BE REMOVED FROM THESE PONDS, AS NECESSARY, PRIOR TO COMPLETION OF THE PROJECT.
- F. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER. GEOTECHNICAL ENGINEERING SOILS REPORTS HAVE BEEN COMPLETED BY BRAUN INTERTEC COMPANY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORTS.
- G. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE IN THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE CONTRACTOR SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- I. CONTRACTOR SHALL RESTRICT ALL GRADING AND CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON THE PLANS. ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER. BEFORE COMMENCING WITH ANY EXCAVATION THE CONTRACTOR SHALL COMPLETE ALL PREPARATORY WORK REGARDING TREE REMOVAL, ROOT PRUNING, TREE PRUNING AND STUMP REMOVAL TO THE SATISFACTION OF THE OWNER. PREPARATORY WORK SHALL INCLUDE THE FOLLOWING AND SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE:
 1. TREE REMOVAL: THE CONTRACTOR SHALL FELL THE TREES. AT NO TIME SHALL TREES BE BULLDOZED OUT, BUT SHALL BE CUT DOWN AND STUMPS REMOVED SEPARATELY. PRIOR TO THE FELLING OF ALL TREES, PROPER REMOVAL OF A PORTION OR ALL OF THE CANOPY SHALL BE COMPLETED SO THAT TREES IN THE RESTRICTED AREAS SHALL NOT BE INJURED IN THE PROCESS.
 2. STUMP REMOVAL: AT SUCH TIME THAT ROOTS HAVE BEEN PROPERLY SEVERED, STUMPS MAY BE REMOVED. WHERE REMOVAL OF CERTAIN STUMPS COULD CAUSE DAMAGE TO EXISTING PROTECTED TREES, TREE STUMPS SHALL BE GROUND OUT. ALL STUMP REMOVAL SHALL BE UNDER THE DIRECT SUPERVISION OF THE OWNER'S REPRESENTATIVE. AN OWNER'S REPRESENTATIVE WILL BE AVAILABLE AT ALL TIMES DURING THE PREPARATORY AND CONSTRUCTION PERIOD.
- J. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR REUSE. TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED SHALL BE PLACED IN EMBANKMENT AREAS OUTSIDE OF BUILDING, PADS, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- K. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
- L. TOLERANCES
 1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
 2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
 3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
 4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
- M. MAINTENANCE
 1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
 2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED, SHALL BE RESEDED AND MULCHED.
 3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.
- N. WHEN THE SITE GRADING CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL SEED AND MULCH THOSE AREAS AS DIRECTED BY THE OWNER. THE SEEDING SHALL COMPLY WITH MN/DOT SPECIFICATION NO. 3876 WITH THE USE OF MN/DOT MIXTURE NO. 504 AND APPLIED AT A RATE OF 100 POUNDS PER ACRE. THE SEEDING SHALL BE MULCHED. THE MULCH SHALL COMPLY WITH MN/DOT SPECIFICATION 3882 TYPE 1. THE MULCH SHALL BE APPLIED AND ANCHORED IN ACCORDANCE WITH MN/DOT SPECIFICATION NO. 2575.3. F1. MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. THE MULCH SHALL BE ANCHORED WITH A DISC, CLODBUSTER OR OTHER APPROVED EQUIPMENT. A WOOD FIBER BLANKET SHALL BE FURNISHED AND PLACED IN AREAS WHERE THE SLOPE EXCEEDS 3:1.
- O. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. THE CONTRACTOR SHALL POST WHATEVER SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
- P. THE CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION. ALL DEWATERING SHALL BE DISCHARGED TO A TEMPORARY SEDIMENTATION BASIN.
- Q. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE MINNESOTA POLLUTION CONTROL AGENCY - NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CONTRACTOR SHALL BE REQUIRED TO BE A CO-APPLICANT WITH THE OWNER. THE CONTRACTOR SHALL COMPLETE THE REQUIRED INSPECTION REPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE EROSION CONTROL DEVICES. A COPY OF THE PERMIT CAN BE OBTAINED FROM THE ENGINEER.
- R. DISTURBED AREAS WITHIN WETLANDS AND MITIGATED AREAS AND ANY DISTURBED AREAS WITHIN THE WETLANDS SHALL BE RESTORED WITH 6 TO 12 INCHES OF ORGANIC SOILS. PREFERABLY SOILS THAT WERE PREVIOUSLY AS FOUND IN THE AREA, BUT IN SOILS DISTURBED AREAS WITHIN WETLANDS, SOIL THAT EXISTS IN THE UPPER 2 FEET OF THE WETLAND, SHALL BE DISPOSED OF IN THE TRENCH BORROW AREA TO PREVENT REGROWTH OF EXISTING WETLAND GRASSES.



REINFORCED CONCRETE PIPE

1. BEDDING SHALL BE COMPACTED CRUSHED STONE AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.
2. SELECT FILL SHALL BE SELECT MATERIAL FREE OF LARGE ROCKS (3") AND SHALL BE PLACED IN 6" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.



FLEXIBLE PIPE: INCLUDES CORRUGATED METAL PIPE
CORRUGATED POLYETHYLENE PIPE AND/OR POLYVINYL CHLORIDE PIPE

1. BEDDING SHALL BE COMPACTED CRUSHED STONE AND SHALL BE SHAPED TO THE BOTTOM OF THE PIPE.
2. HAUNCHING AND INITIAL BACKFILL MATERIAL SHALL BE CLASS I OR II (REF. ASTM D2321) GRANULAR MATERIAL AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
3. SELECT FILL PLACEMENT AND COMPACTION SAME AS FOR RCP.

TRENCH AND BEDDING DETAILS

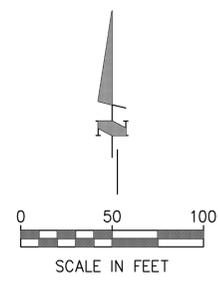
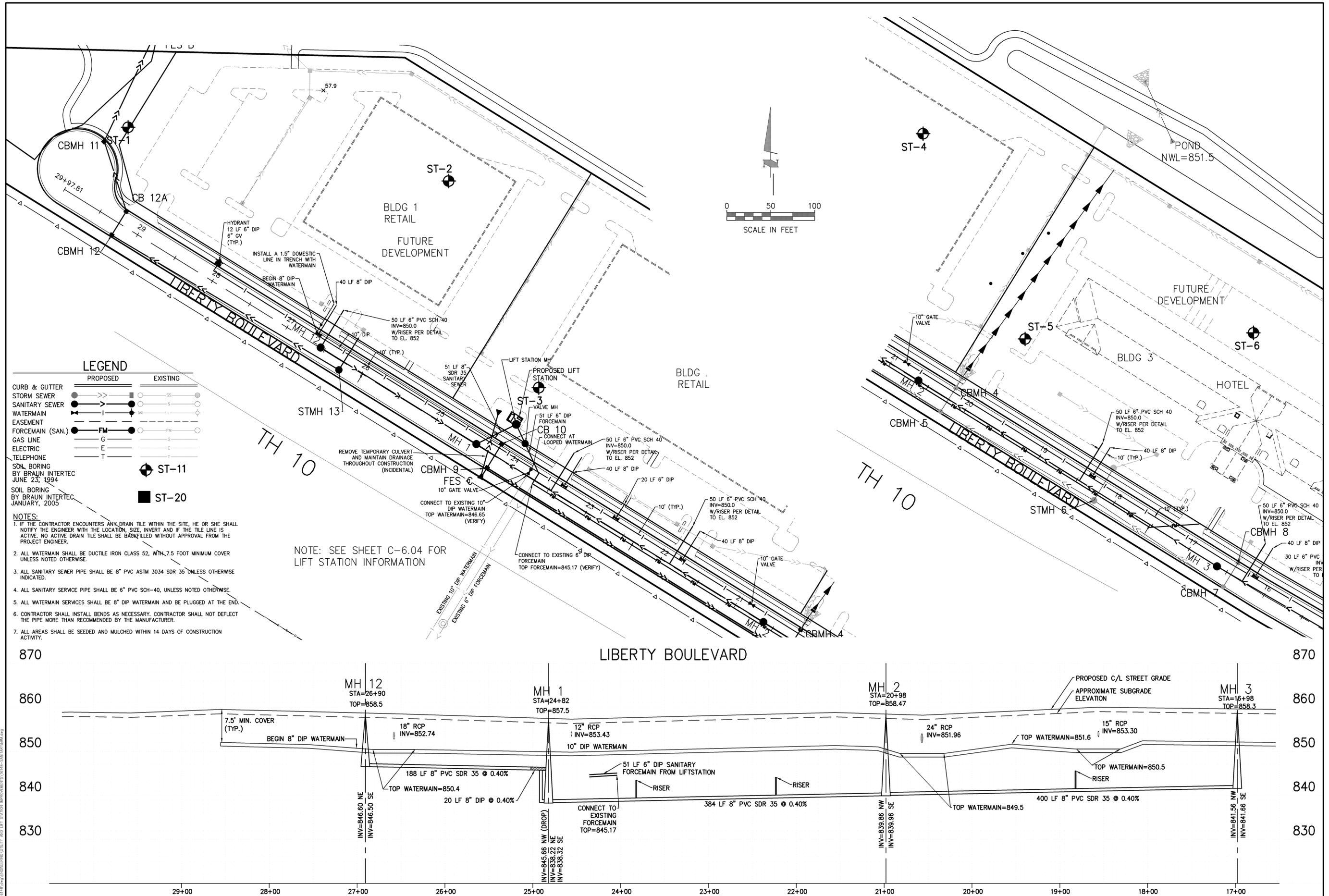
NO SCALE REV 6-96

Engineering • Planning • Surveying
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 McCombs Frank Roos Associates, Inc.
 15050 23rd Avenue North
 Plymouth Minnesota 55447
 phone 763/476-6010
 fax 763/476-8532

| | |
|----------|----------|
| Designed | MCA |
| Drawn | NCS |
| Date | 12-22-06 |
| Checked | MCA |
| Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Signature *Mark Colkoon*
 Name MARK ANDERSON
 Date 10/8/07 License # 23450

| | | |
|-------------------|----------|---|
| Revisions | By | Remarks |
| A | 12/29/04 | NCS/REV PER COON CREEK WATERSHED DISTRICT |
| B | 1/26/04 | NCS/REV TYPICAL STREET GRADING DETAIL |
| C | 12/21/06 | JPF/REV DETAILS AND NOTES |
| SHEET NUMBER | | |
| C-9.01 | | REV. C |
| MFRA FILE # 14864 | | |

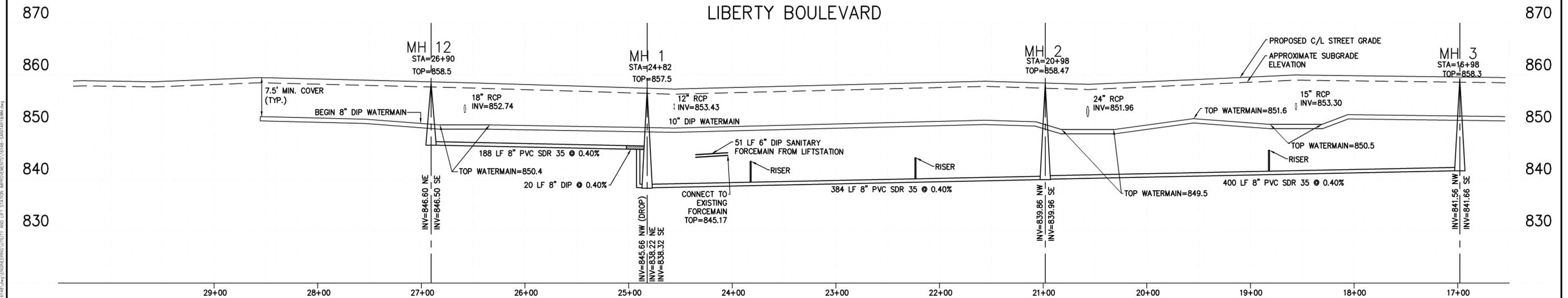


LEGEND

| PROPOSED | EXISTING |
|---|----------|
| CURB & GUTTER | SS |
| STORM SEWER | S |
| SANITARY SEWER | S |
| WATERMAIN | W |
| EASEMENT | |
| FORCEMAIN (SAN.) | FM |
| GAS LINE | G |
| ELECTRIC | E |
| TELEPHONE | T |
| SOIL BORING BY BRAUN INTERTEC JUNE 23, 1994 | ST-11 |
| SOIL BORING BY BRAUN INTERTEC JANUARY, 2005 | ST-20 |

- NOTES:**
- IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO ACTIVE DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.
 - ALL WATERMAIN SHALL BE DUCTILE IRON CLASS 52, WITH 7.5 FOOT MINIMUM COVER UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER PIPE SHALL BE 8" PVC ASTM 3034 SDR 35 UNLESS OTHERWISE INDICATED.
 - ALL SANITARY SERVICE PIPE SHALL BE 6" PVC SCH-40, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN SERVICES SHALL BE 8" DIP WATERMAIN AND BE PLUGGED AT THE END.
 - CONTRACTOR SHALL INSTALL BENDS AS NECESSARY. CONTRACTOR SHALL NOT DEFLECT THE PIPE MORE THAN RECOMMENDED BY THE MANUFACTURER.
 - ALL AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF CONSTRUCTION ACTIVITY.

NOTE: SEE SHEET C-6.04 FOR LIFT STATION INFORMATION



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

GATEWAY COMMERCE CENTER
UTILITY AND LIFT STATION IMPROVEMENTS
 COON RAPIDS, MINNESOTA
H & W FAMILY LLP
 SANITARY SEWER & WATERMAIN PLAN & PROFILE

MFRA
 Engineering • Planning • Surveying
 14800 28th Ave. N., Suite 140
 Plymouth Minnesota 55447
 phone 763/476-6010
 fax 763/476-6532
 McCombs Frank Rous
 Associates, Inc.

| | | | |
|-------|------------------|---------|----------|
| FINAL | Designed MCA/NCS | NCS | MCA |
| | Drawn | Checked | Approved |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Signature: *Mark Anderson*
 Name: MARK ANDERSON
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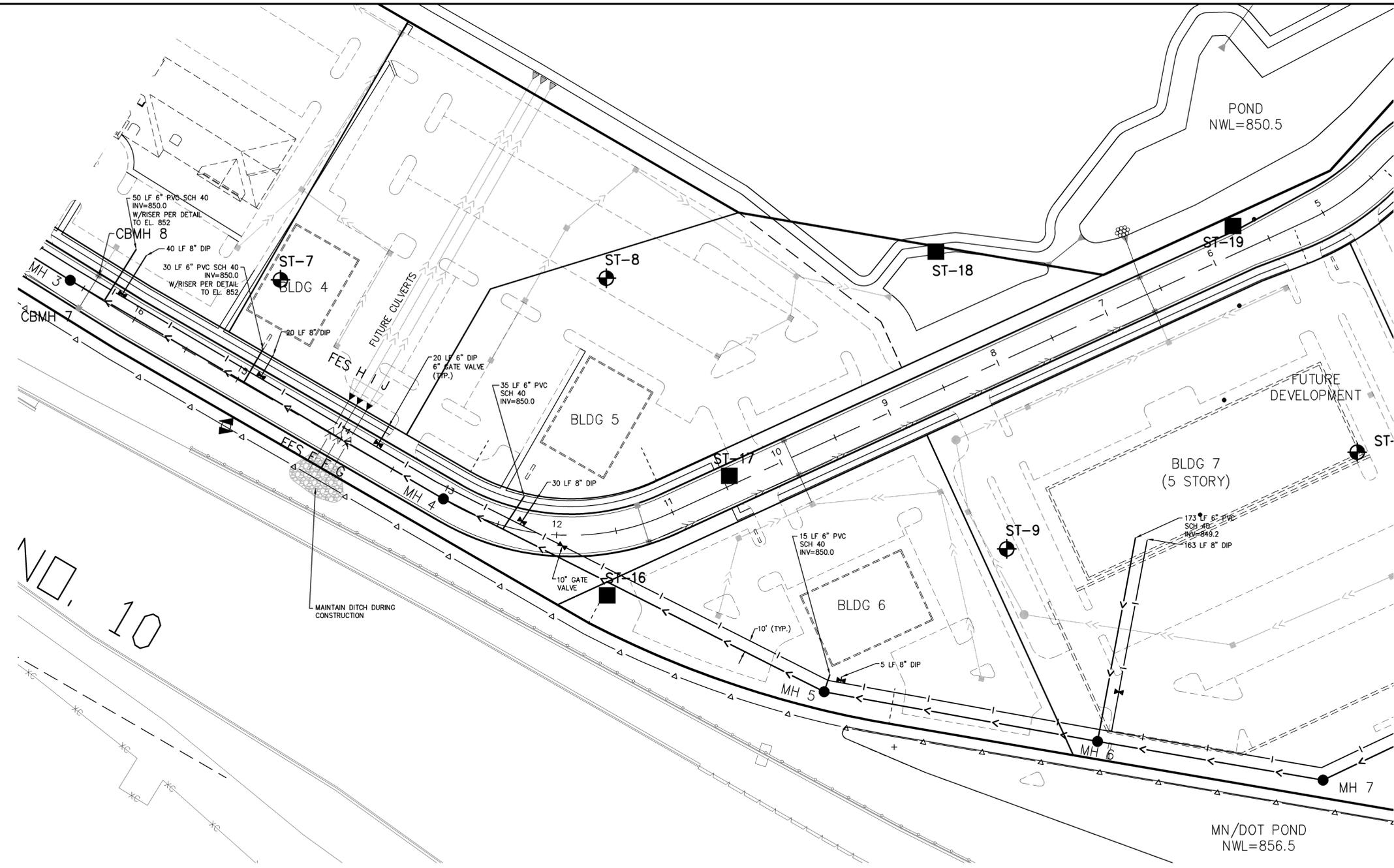
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| Revisions | By | Remarks |
| No. | Date | |
| 1 | 4/17/07 | NCS/ADD SOIL BORINGS |

SHEET NUMBER **C-6.01** REV. **A**

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| FINAL | Designed | MCA/NCS | Drawn | NCS | MCA | MCA |
| | Checked | | Approved | | | |

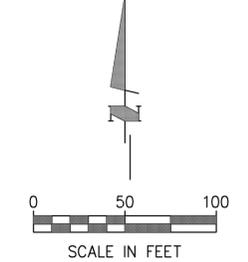
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Signature: *Mark Anderson*
Name: MARK ANDERSON
Date: 3/30/07 License # 23450

| Revisions | Date | By | Remarks |
|-----------|---------|-----|------------------|
| 1 | 4/17/07 | NCS | ADD SOIL BORINGS |

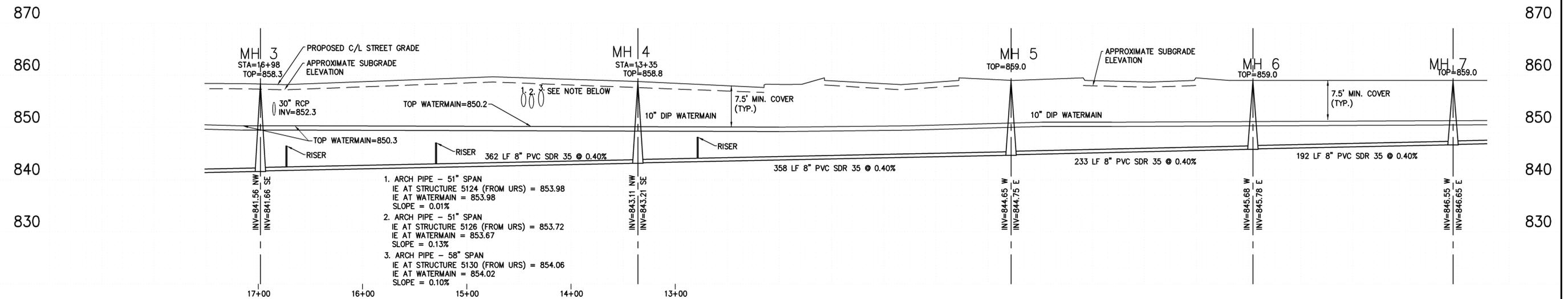


LEGEND

| PROPOSED | EXISTING |
|---|----------|
| CURB & GUTTER | SS |
| STORM SEWER | SS |
| SANITARY SEWER | S |
| WATERMAIN | W |
| EASEMENT | |
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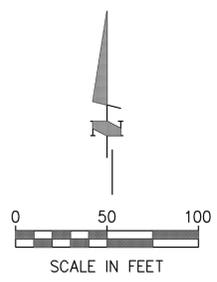
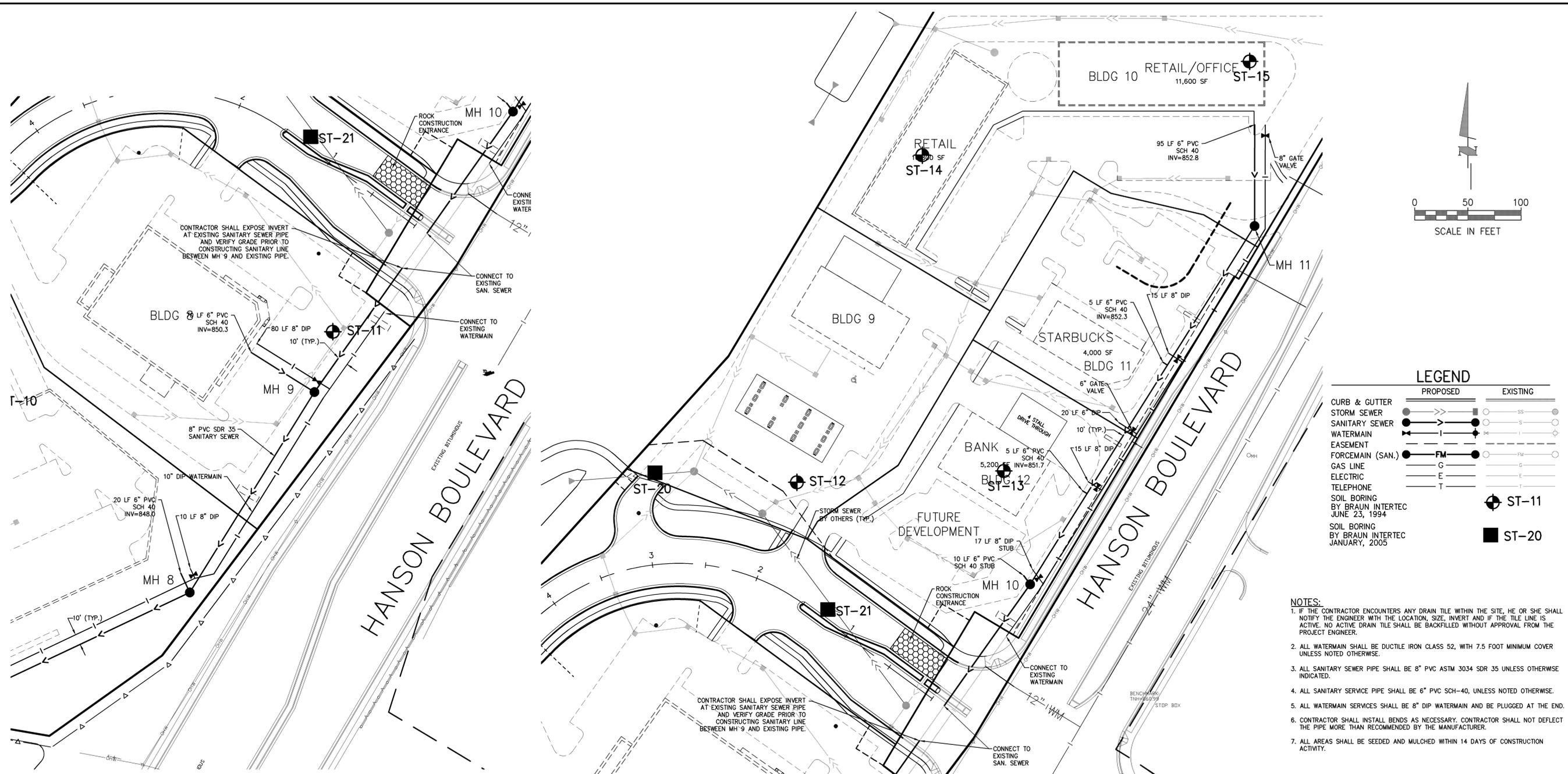


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 - ALL AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF CONSTRUCTION ACTIVITY.



- ARCH PIPE - 51" SPAN
IE AT STRUCTURE 5124 (FROM URS) = 853.98
IE AT WATERMAIN = 853.98
SLOPE = 0.01%
- ARCH PIPE - 51" SPAN
IE AT STRUCTURE 5126 (FROM URS) = 853.72
IE AT WATERMAIN = 853.67
SLOPE = 0.13%
- ARCH PIPE - 58" SPAN
IE AT STRUCTURE 5130 (FROM URS) = 854.06
IE AT WATERMAIN = 854.02
SLOPE = 0.10%

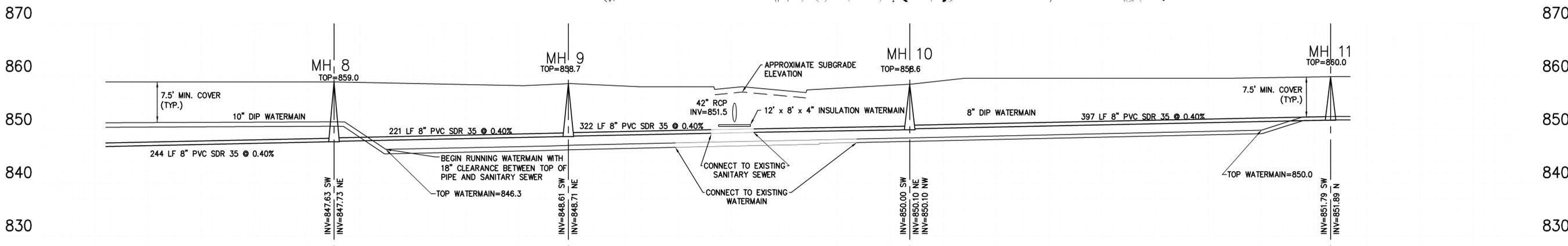
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LEGEND

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|---|----------|
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| STORM SEWER | SS |
| SANITARY SEWER | SS |
| WATERMAIN | SS |
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| FORCEMAIN (SAN.) | FM |
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| ELECTRIC | E |
| TELEPHONE | T |
| SOIL BORING BY BRAUN INTERTEC JUNE 23, 1994 | ST-11 |
| SOIL BORING BY BRAUN INTERTEC JANUARY, 2005 | ST-20 |

- NOTES:**
- IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO ACTIVE DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.
 - ALL WATERMAIN SHALL BE DUCTILE IRON CLASS 52, WITH 7.5 FOOT MINIMUM COVER UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER PIPE SHALL BE 8" PVC ASTM 3034 SDR 35 UNLESS OTHERWISE INDICATED.
 - ALL SANITARY SERVICE PIPE SHALL BE 6" PVC SCH-40, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN SERVICES SHALL BE 8" DIP WATERMAIN AND BE PLUGGED AT THE END.
 - CONTRACTOR SHALL INSTALL BENDS AS NECESSARY. CONTRACTOR SHALL NOT DEFLECT THE PIPE MORE THAN RECOMMENDED BY THE MANUFACTURER.
 - ALL AREAS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF CONSTRUCTION ACTIVITY.



THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

GATEWAY COMMERCE CENTER
UTILITY AND LIFT STATION IMPROVEMENTS
 COON RAPIDS, MINNESOTA
H & W FAMILY LLLP
 SANITARY SEWER & WATERMAIN PLAN & PROFILE

MFRA
 Engineering • Planning • Surveying
 14800 28th Ave. N., Suite 140
 Plymouth, Minnesota 55447
 phone 763/476-8010
 fax 763/476-8532
 McCombs Frank Rous
 Associates, Inc.

| | | |
|-------|----------|---------|
| FINAL | Designed | MCA/NCS |
| | Drawn | NCS |
| | Checked | MCA |
| | Approved | MCA |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Signature: *Mark Anderson*
 Name: MARK ANDERSON
 Date: 3/30/07 License # 23450

| | | |
|-----------|---------|---|
| Revisions | By | Remarks |
| A | 4/17/07 | NCS ADD SOIL BORINGS AND SEWER STUB FROM MH 8 AND ADJACENT 8" WM STUB AND VALVE |
| B | 5/9/07 | NCS REV IE OF MH 8-MH 11 |
| C | 7/31/07 | MCA ADDED EXISTING COUNTY STORM SEWER ALIGNMENT |

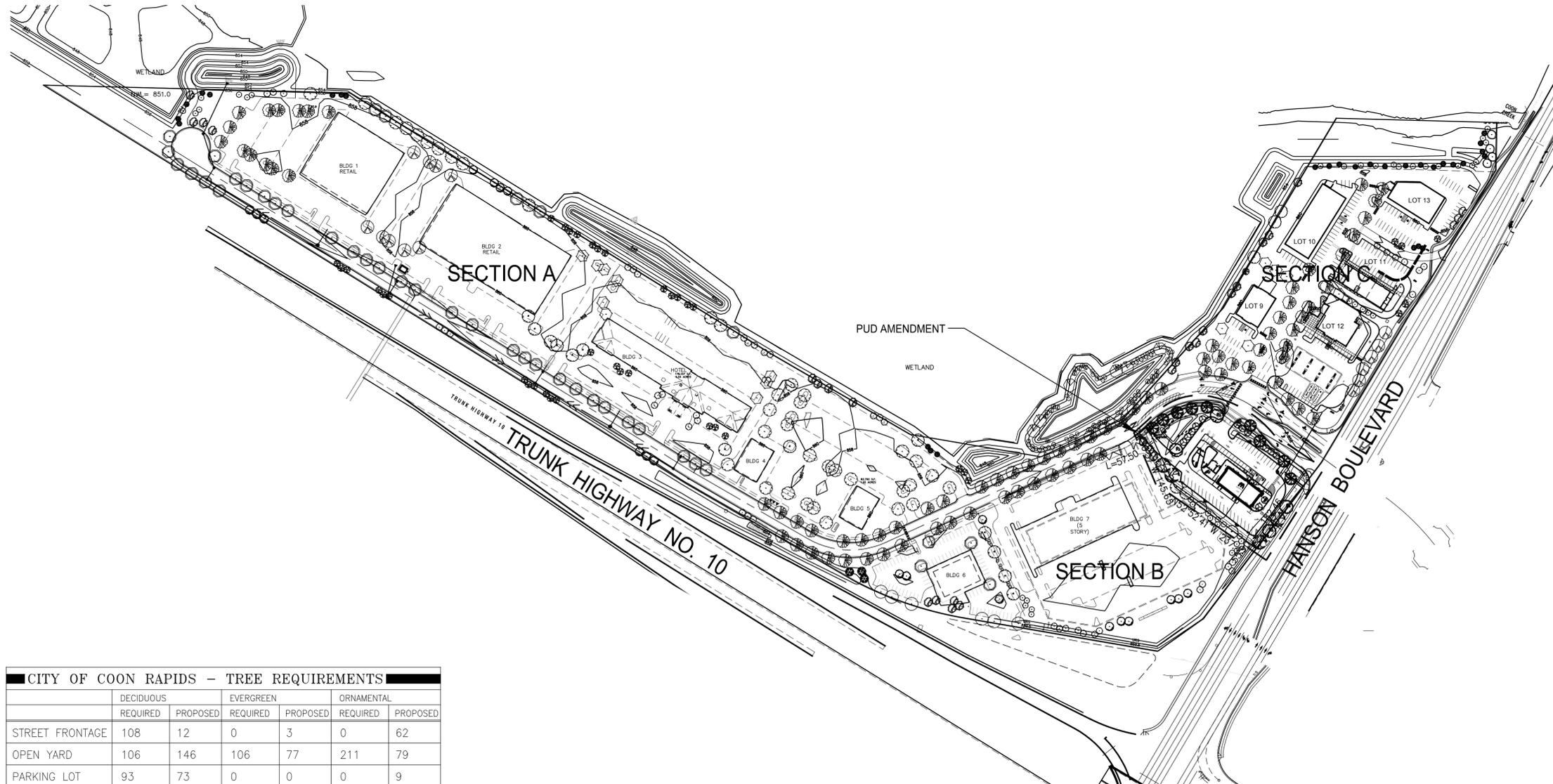
SHEET NUMBER: **C-6.03** REV: **C**
 MFRA FILE # 16148

Gateway Commerce Center Landscape Plan

Coon Rapids, Minnesota

Presented by:

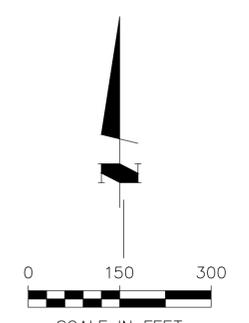
H&W Family Limited Liability Limited Partnership



| CITY OF COON RAPIDS - TREE REQUIREMENTS | | | | | | |
|---|-----------|----------|-----------|----------|------------|----------|
| | DECIDUOUS | | EVERGREEN | | ORNAMENTAL | |
| | REQUIRED | PROPOSED | REQUIRED | PROPOSED | REQUIRED | PROPOSED |
| STREET FRONTAGE | 108 | 12 | 0 | 3 | 0 | 62 |
| OPEN YARD | 106 | 146 | 106 | 77 | 211 | 79 |
| PARKING LOT | 93 | 73 | 0 | 0 | 0 | 9 |
| TOTALS | 307 | 231 | 106 | 80 | 211 | 150 |

SHEET INDEX

- L.1.01 TITLE SHEET/OVERALL LANDSCAPE PLAN
 - L.1.02 LANDSCAPE PLAN - SECTION A
 - L.1.03 LANDSCAPE PLAN - SECTION B
 - L.1.04 LANDSCAPE PLAN - SECTION C
 - L.1.05 TYPICAL BUILDING FOUNDATION PLANTING PLAN
 - L.1.06 TYPICAL LANDSCAPE DETAILS
 - L.1.07 TYPICAL LANDSCAPE DETAILS
- (7 TOTAL SHEETS)



GATEWAY
COMMERCE CENTER
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
TITLE SHEET/OVERALL LANDSCAPE PLAN

Engineering • Planning • Surveying
14800 28th Ave. N., Suite 140
Plymouth Minnesota 55447
phone 763/476-6010
fax 763/476-8532

MFRA
McCombs Frank Roos
Associates, Inc.

| | |
|----------|----------|
| Designed | kit |
| Drawn | HCK/ELF |
| Date | 10/26/07 |
| Checked | kit |
| Approved | kit |

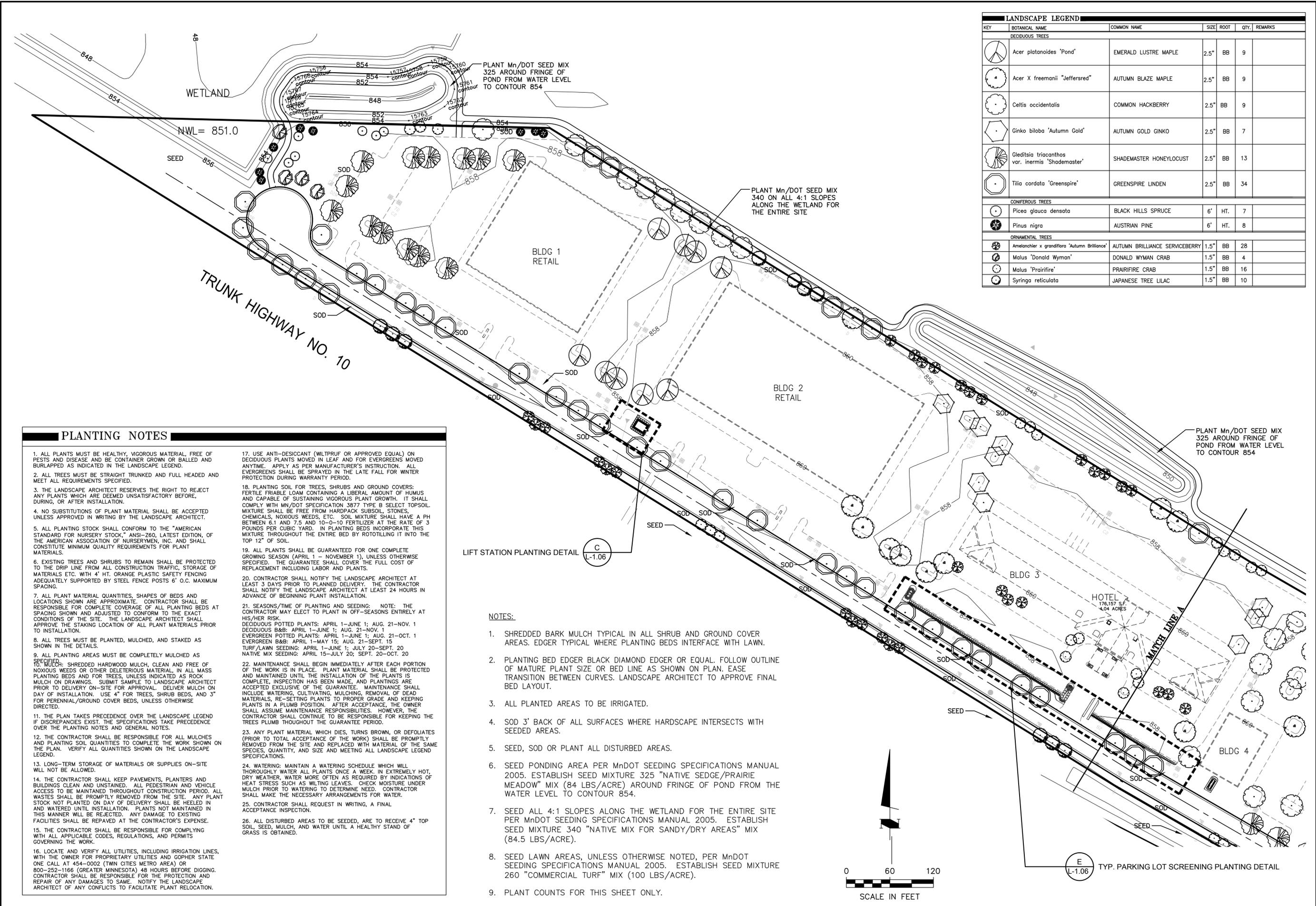
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

| | |
|-----------|--------------|
| Signature | Kevin Teppen |
| Name | Kevin Teppen |
| Date | 05.07.09 |
| License # | 26980 |

| Revisions | No. | Date | By | Remarks |
|-----------|-----|----------|-----|--|
| | A | 10/26/07 | ELF | REVISIONS PER CITY COMMENT |
| | B | 12/07/07 | LAW | REVISIONS PER CITY COMMENT |
| | C | 05/07/09 | kit | PUD REVISION |
| | D | 06/07/13 | kit | PUD REVISION |
| | E | 08/05/13 | kit | PUD REVISION FOR MCDONALD'S REVISED ENTRANCE |

| | |
|--------------|------|
| SHEET NUMBER | REV. |
| L.1.01 | E |

MFRA FILE # 16148



| LANDSCAPE LEGEND | | | | | | |
|-------------------------|--|--------------------------------|------|------|------|---------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | QTY. | REMARKS |
| DECIDUOUS TREES | | | | | | |
| | Acer platanoides 'Pond' | EMERALD LUSTRE MAPLE | 2.5" | BB | 9 | |
| | Acer X freemanii "Jeffersred" | AUTUMN BLAZE MAPLE | 2.5" | BB | 9 | |
| | Celtis occidentalis | COMMON HACKBERRY | 2.5" | BB | 9 | |
| | Ginkgo biloba 'Autumn Gold' | AUTUMN GOLD GINKGO | 2.5" | BB | 7 | |
| | Gleditsia triacanthos var. inermis 'Shademaster' | SHADEMASTER HONEYLOCUST | 2.5" | BB | 13 | |
| | Tilia cordata 'Greenspire' | GREENSPIRE LINDEN | 2.5" | BB | 34 | |
| CONIFEROUS TREES | | | | | | |
| | Picea glauca densata | BLACK HILLS SPRUCE | 6' | HT. | 7 | |
| | Pinus nigra | AUSTRIAN PINE | 6' | HT. | 8 | |
| ORNAMENTAL TREES | | | | | | |
| | Amelanchier x grandiflora 'Autumn Brilliance' | AUTUMN BRILLIANCE SERVICEBERRY | 1.5" | BB | 28 | |
| | Malus 'Donald Wyman' | DONALD WYMAN CRAB | 1.5" | BB | 4 | |
| | Malus 'Pralifire' | PRAIRIFIRE CRAB | 1.5" | BB | 16 | |
| | Syringa reticulata | JAPANESE TREE LILAC | 1.5" | BB | 10 | |

PLANTING NOTES

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6" O.C. MAXIMUM SPACING.
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL TREES MUST BE PLANTED, MULCHED, AND STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR TREES, SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE LANDSCAPE LEGEND.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- THE CONTRACTOR SHALL KEEP PAVEMENTS, PLANTERS AND BUILDINGS CLEAN AND UNSTAINED. ALL PEDESTRIAN AND VEHICLE ACCESS TO BE MAINTAINED THROUGHOUT CONSTRUCTION PERIOD. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEeled IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL AT 454-0002 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- USE ANTI-DESICCANT (WILTPROF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MN/DOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED BY ROTOTILLING IT INTO THE TOP 12" OF SOIL.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.
 DECIDUOUS POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-NOV. 1
 DECIDUOUS B&B: APRIL 1-JUNE 1; AUG. 21-NOV. 1
 EVERGREEN POTTED PLANTS: APRIL 1-JUNE 1; AUG. 21-OCT. 1
 EVERGREEN B&B: APRIL 1-MAY 15; AUG. 21-SEPT. 15
 TURF/LAWN SEEDING: APRIL 1-JUNE 1; JULY 20-SEPT. 20
 NATIVE MIX SEEDING: APRIL 15-JULY 20; SEPT. 20-OCT. 20
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
- ALL DISTURBED AREAS TO BE SEEDDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

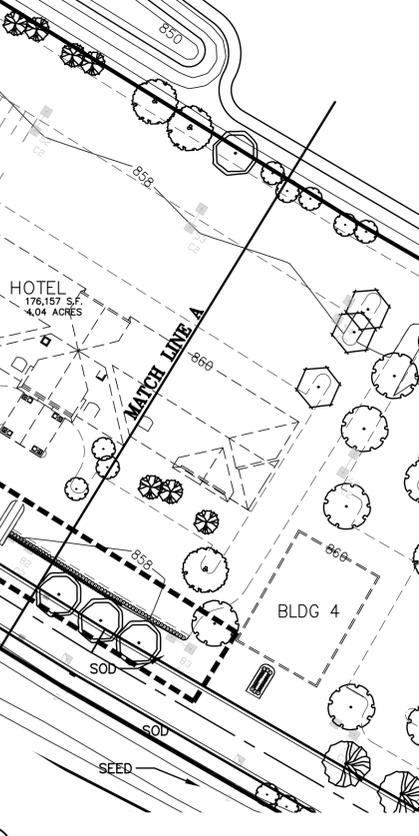
LIFT STATION PLANTING DETAIL



NOTES:

- SHREDDED BARK MULCH TYPICAL IN ALL SHRUB AND GROUND COVER AREAS. EDGER TYPICAL WHERE PLANTING BEDS INTERFACE WITH LAWN.
- PLANTING BED EDGER BLACK DIAMOND EDGER OR EQUAL. FOLLOW OUTLINE OF MATURE PLANT SIZE OR BED LINE AS SHOWN ON PLAN. EASE TRANSITION BETWEEN CURVES. LANDSCAPE ARCHITECT TO APPROVE FINAL BED LAYOUT.
- ALL PLANTED AREAS TO BE IRRIGATED.
- SOD 3' BACK OF ALL SURFACES WHERE HARDSCAPE INTERSECTS WITH SEEDDED AREAS.
- SEED, SOD OR PLANT ALL DISTURBED AREAS.
- SEED PONDING AREA PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 325 "NATIVE SEDGE/PRAIRIE MEADOW" MIX (84 LBS/ACRE) AROUND FRINGE OF POND FROM THE WATER LEVEL TO CONTOUR 854.
- SEED ALL 4:1 SLOPES ALONG THE WETLAND FOR THE ENTIRE SITE PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 340 "NATIVE MIX FOR SANDY/DRY AREAS" MIX (84.5 LBS/ACRE).
- SEED LAWN AREAS, UNLESS OTHERWISE NOTED, PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 260 "COMMERCIAL TURF" MIX (100 LBS/ACRE).
- PLANT COUNTS FOR THIS SHEET ONLY.

TYP. PARKING LOT SCREENING PLANTING DETAIL



GATEWAY COMMERCE CENTER
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
LANDSCAPE PLAN - SECTION A

MFRA
14800 28th Ave. N. Suite 140
Plymouth, Minnesota 55447
phone 763/476-6010 fax 763/476-8532
McCombs Frank Roos Associates, Inc.

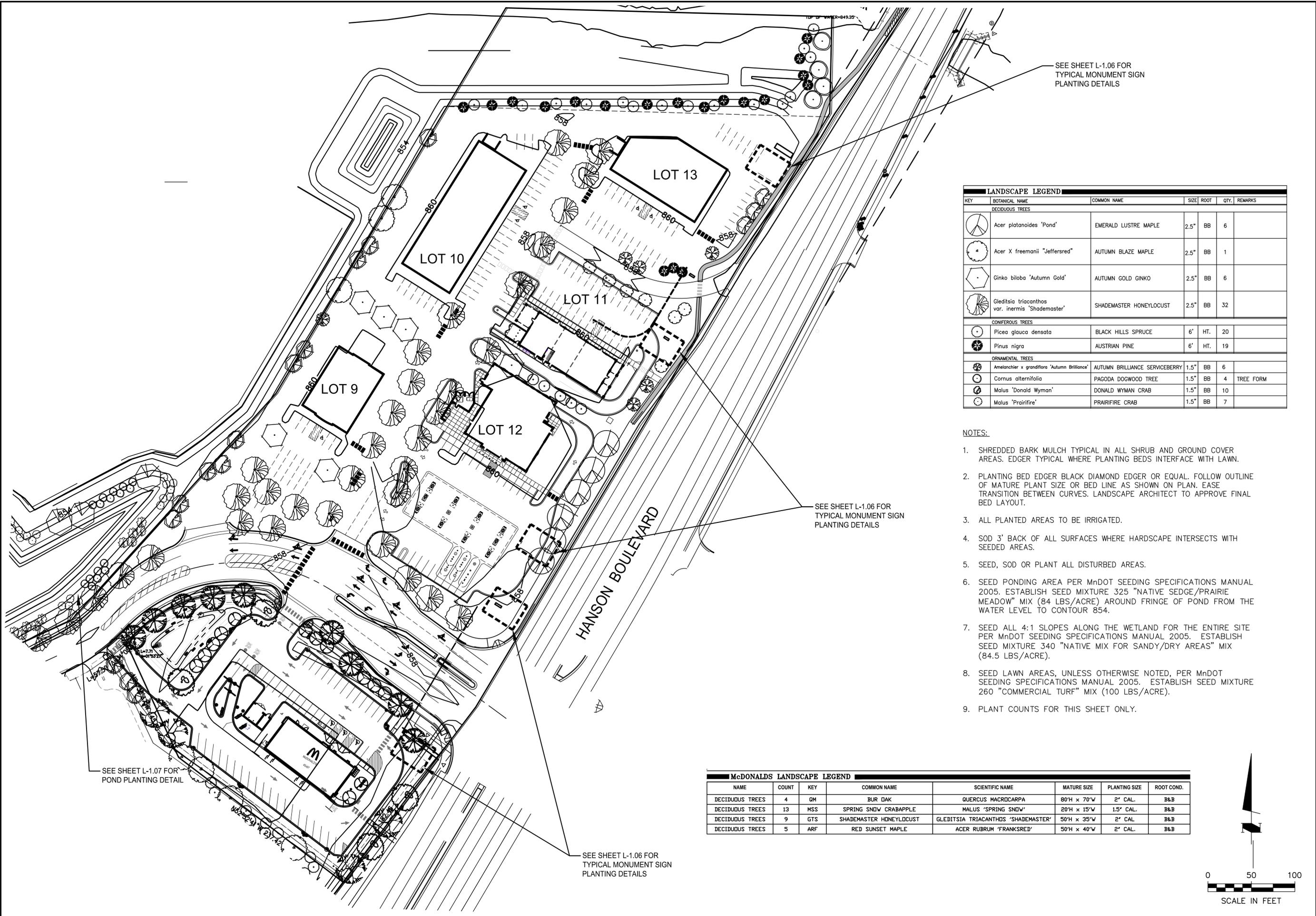
| | |
|----------|----------|
| Designed | kit |
| Drawn | HOK/ELF |
| Date | 10/26/07 |
| Checked | kit |
| Approved | kit |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Signature: Name: Kevin Teppen License #: 26980
Date: 05.07.09 License #: 26980

| | | | | |
|-----------|-----|----------|-----|---|
| Revisions | No. | Date | By | Remarks |
| | A | 10/26/07 | ELF | REVISIONS PER CITY COMMENT |
| | B | 12/07/07 | LAW | REVISIONS PER CITY COMMENT |
| | C | 05.07.09 | HT | PLD REVISION |
| | D | 06.07.13 | HT | PLD REVISION |
| | E | 08.05.13 | HT | PLD REVISION FOR McDONALDS REVISED ENTRANCE |

SHEET NUMBER: **L.1.02** REV: **E**
MFRA FILE # 16148



SEE SHEET L-1.06 FOR TYPICAL MONUMENT SIGN PLANTING DETAILS

SEE SHEET L-1.06 FOR TYPICAL MONUMENT SIGN PLANTING DETAILS

SEE SHEET L-1.07 FOR POND PLANTING DETAIL

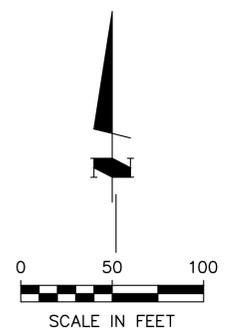
SEE SHEET L-1.06 FOR TYPICAL MONUMENT SIGN PLANTING DETAILS

| LANDSCAPE LEGEND | | | | | | |
|------------------|--|--------------------------------|------|------|------|-----------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | QTY. | REMARKS |
| DECIDUOUS TREES | | | | | | |
| | <i>Acer platanoides</i> 'Pond' | EMERALD LUSTRE MAPLE | 2.5" | BB | 6 | |
| | <i>Acer X freemanii</i> 'Jeffersred' | AUTUMN BLAZE MAPLE | 2.5" | BB | 1 | |
| | <i>Ginkgo biloba</i> 'Autumn Gold' | AUTUMN GOLD GINKGO | 2.5" | BB | 6 | |
| | <i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster' | SHADEMASTER HONEYLOCUST | 2.5" | BB | 32 | |
| CONIFEROUS TREES | | | | | | |
| | <i>Picea glauca densata</i> | BLACK HILLS SPRUCE | 6' | HT. | 20 | |
| | <i>Pinus nigra</i> | AUSTRIAN PINE | 6' | HT. | 19 | |
| ORNAMENTAL TREES | | | | | | |
| | <i>Amelanchier x grandiflora</i> 'Autumn Brilliance' | AUTUMN BRILLIANCE SERVICEBERRY | 1.5" | BB | 6 | |
| | <i>Cornus alternifolia</i> | PAGODA DOGWOOD TREE | 1.5" | BB | 4 | TREE FORM |
| | <i>Malus</i> 'Donald Wyman' | DONALD WYMAN CRAB | 1.5" | BB | 10 | |
| | <i>Malus</i> 'Prairifire' | PRAIRIFIRE CRAB | 1.5" | BB | 7 | |

NOTES:

- SHREDDED BARK MULCH TYPICAL IN ALL SHRUB AND GROUND COVER AREAS. EDGER TYPICAL WHERE PLANTING BEDS INTERFACE WITH LAWN.
- PLANTING BED EDGER BLACK DIAMOND EDGER OR EQUAL. FOLLOW OUTLINE OF MATURE PLANT SIZE OR BED LINE AS SHOWN ON PLAN. EASE TRANSITION BETWEEN CURVES. LANDSCAPE ARCHITECT TO APPROVE FINAL BED LAYOUT.
- ALL PLANTED AREAS TO BE IRRIGATED.
- SOD 3' BACK OF ALL SURFACES WHERE HARDSCAPE INTERSECTS WITH SEEDED AREAS.
- SEED, SOD OR PLANT ALL DISTURBED AREAS.
- SEED PONDING AREA PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 325 "NATIVE SEDGE/PRAIRIE MEADOW" MIX (84 LBS/ACRE) AROUND FRINGE OF POND FROM THE WATER LEVEL TO CONTOUR 854.
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- PLANT COUNTS FOR THIS SHEET ONLY.

| McDONALDS LANDSCAPE LEGEND | | | | | | | |
|----------------------------|-------|-----|-------------------------|-------------------------------------|-------------|---------------|------------|
| NAME | COUNT | KEY | COMMON NAME | SCIENTIFIC NAME | MATURE SIZE | PLANTING SIZE | ROOT COND. |
| DECIDUOUS TREES | 4 | QM | BUR OAK | QUERCUS MACROCARPA | 80'H x 70'W | 2' CAL. | B&B |
| DECIDUOUS TREES | 13 | MSS | SPRING SNOW CRABAPPLE | MALUS 'SPRING SNOW' | 20'H x 15'W | 1.5' CAL. | B&B |
| DECIDUOUS TREES | 9 | GTS | SHADEMASTER HONEYLOCUST | GLEDTISIA TRIACANTHOS 'SHADEMASTER' | 50'H x 35'W | 2' CAL. | B&B |
| DECIDUOUS TREES | 5 | ARF | RED SUNSET MAPLE | ACER RUBRUM 'FRANKSRED' | 50'H x 40'W | 2' CAL. | B&B |



GATEWAY COMMERCE CENTER
COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
LANDSCAPE PLAN - SECTION C

Engineering • Planning • Surveying
MFRA
14800 28th Ave. N. Suite 140
Plymouth, Minnesota 55447
phone 763/476-6010 fax 763/476-8532
McCombs Frank Roos Associates, Inc.

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|----------|----------|
| Designed | kit |
| Drawn | HCK/ELF |
| Date | 10/26/07 |
| Checked | kit |
| Approved | kit |

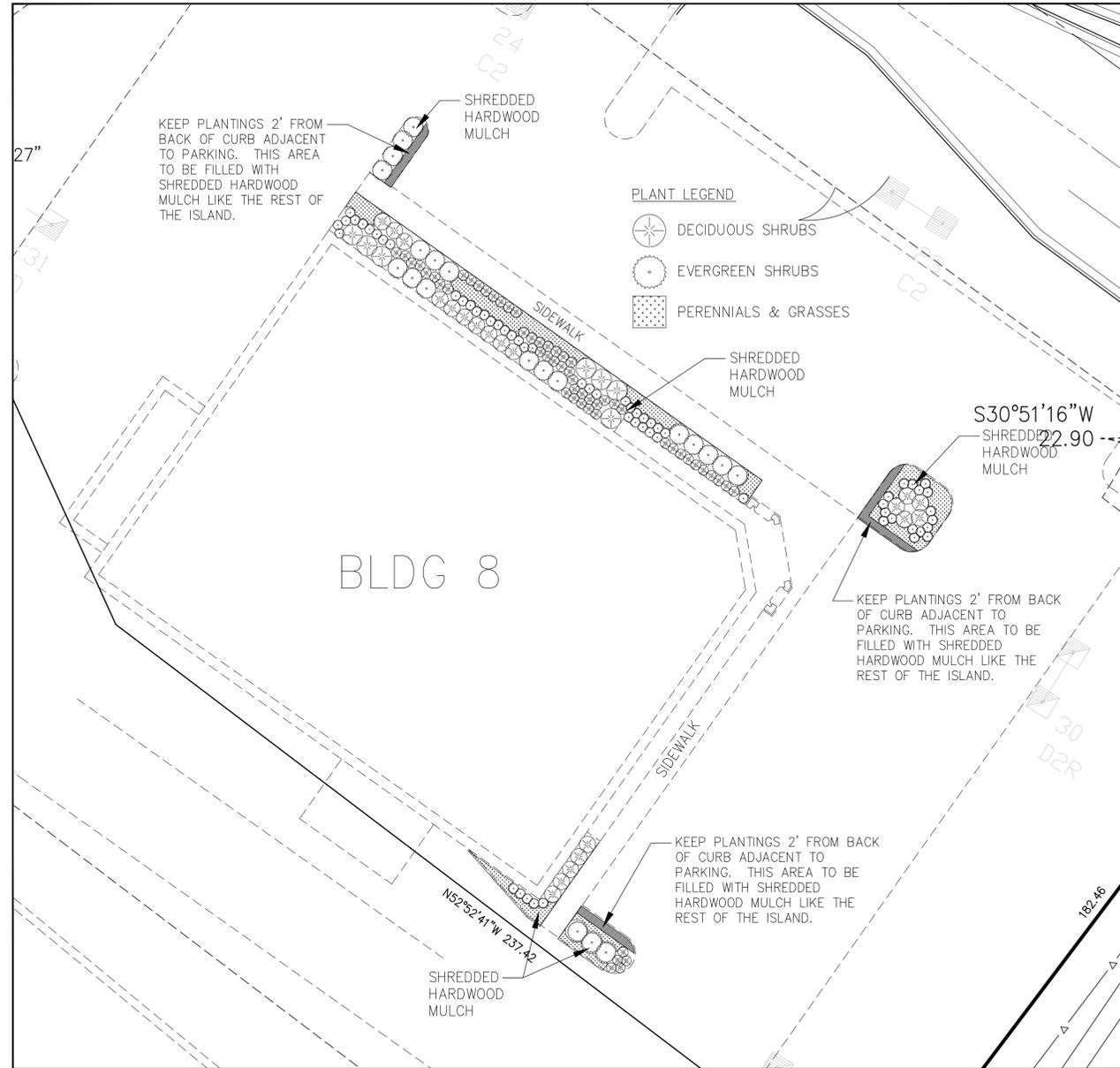
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Signature: Name: Kevin Teppen License #: 26980 Date: 05.07.09

| | | | | |
|-----------|-----|----------|-----|---|
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| | D | 06.07.13 | H&W | PUD REVISION |
| | E | 08.05.13 | H&W | PUD REVISION FOR McDONALDS REVISED ENTRANCE |

L.1.04 REV. **E**

MFRA FILE # 16148



A TYPICAL BUILDING FOUNDATION PLANTING PLAN
SCALE: 1" = 20'-0"

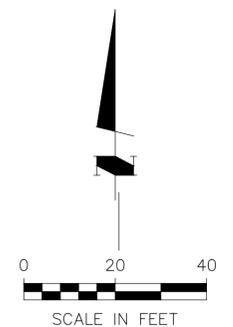
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- SEED PONDING AREA PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 325 "NATIVE SEDGE/PRAIRIE MEADOW" MIX (84 LBS/ACRE) AROUND FRINGE OF POND FROM THE WATER LEVEL TO CONTOUR 854.

NOTES:

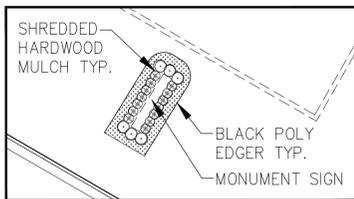
- SEED ALL 4:1 SLOPES ALONG THE WETLAND FOR THE ENTIRE SITE PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 340 "NATIVE MIX FOR SANDY/DRY AREAS" MIX (84.5 LBS/ACRE).
- SEED LAWN AREAS, UNLESS OTHERWISE NOTED, PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 260 "COMMERCIAL TURF" MIX (100 LBS/ACRE).
- PLANT COUNTS FOR THIS SHEET ONLY.
- CHOOSE PLANTS FROM THE RECOMMENDED PLANTINGS LEGEND ON SHEET L-1.05 THAT ARE APPROPRIATE FOR THEIR LOCATION. SUBSTITUTE PLANTINGS ARE ALLOWED AS LONG AS THEY ARE APPROVED BY THE LANDSCAPE ARCHITECT.
- TREES SHOWN FOR REFERENCE ONLY. SEE SHEETS L-1.02-L-1.04 FOR TREE COUNTS.

| LANDSCAPE LEGEND - RECOMMENDED PLANTINGS | | | | | | |
|--|--|---------------------------------------|------|-------|------|----------------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | QTY. | REMARKS |
| DECIDUOUS SHRUBS - FULL SUN | | | | | | |
| BTR | Berberis thunbergii 'Rose Glow' | ROSE GLOW BARBERRY | #2 | CONT. | - | |
| SJM | Spiraea japonica 'Magic Carpet' | MAGIC CARPET SPIREA | #2 | CONT. | - | |
| SBG | Spiraea x bumalda 'Goldflame' | GOLDFLAME SPIREA | #2 | CONT. | - | |
| SM | Syringa meyeri 'Palibin' | DWARF KOREAN LILAC | #5 | CONT. | - | |
| WFR | Weigela florida 'Rumba' | RUMBA WEIGELA | #2 | CONT. | - | |
| DECIDUOUS SHRUBS - FULL SUN/PART SHADE | | | | | | |
| AM | Aronia melanocarpa 'Autumn Magic' | AUTUMN MAGIC BLACK CHOKEBERRY | #5 | CONT. | - | |
| BT | Berberis thunbergii 'Crimson Pygmy' | CRIMSON PYGMY BARBERRY | #2 | CONT. | - | |
| SA | Spiraea albiflora | JAPANESE WHITE SPIREA | #2 | CONT. | - | |
| SJ | Spiraea japonica 'Little Princess' | LITTLE PRINCESS SPIREA | #2 | CONT. | - | |
| SJN | Spiraea japonica 'Neon Flash' | NEON FLASH SPIREA | #2 | CONT. | - | |
| SB | Spiraea x bumalda 'Coccinea' | DWARF RED FLOWERING SPIREA | #2 | CONT. | - | |
| SBD | Spiraea x bumalda 'Dart's Red' | DART'S RED SPIREA | #2 | CONT. | - | |
| VD | Viburnum dentatum 'Blue Muffin' | BLUE MUFFIN VIBURNUM | #5 | CONT. | - | |
| VT | Viburnum trilobum 'Bailey Compact' | BAILEY COMPACT AMERICAN CRANBERRYBUSH | #2 | CONT. | - | |
| WF | Weigela florida 'Samba' | SAMBA WEIGELA | #2 | CONT. | - | |
| DECIDUOUS SHRUBS - FULL SUN/FULL SHADE | | | | | | |
| CR | Cornus racemosa 'Hurzam' | HURON DOGWOOD | #5 | CONT. | - | |
| HA | Hydrangea arborescens 'Annabelle' | ANNABELLE SMOOTH HYDRANGEA | #3 | CONT. | - | |
| EVERGREEN SHRUBS - FULL SUN | | | | | | |
| JC | Juniperus chinensis 'Sea Green' | SEA GREEN JUNIPER | #5 | CONT. | - | |
| JS | Juniperus sabina | SAVIN JUNIPER | #2 | CONT. | - | |
| JSP | Juniperus sabina 'Pepin' | PEPIN SAVIN JUNIPER | #2 | CONT. | - | |
| PM | Pinus mugo 'Teeny' | MUGHO TEENY PINE | #3 | CONT. | - | |
| PS | Pinus sylvestris 'Beauvronensis' | BEAUVRONENSIS PINE | #7 | CONT. | - | |
| EVERGREEN SHRUBS - FULL SUN/PART SHADE | | | | | | |
| PA | Picea abies 'Elegans' | ELEGANS SPRUCE | #2 | CONT. | - | |
| PAP | Picea abies 'Pumila' | DWARF NORWAY SPRUCE | #2 | CONT. | - | |
| TM | Taxus x media 'Taunton' | TAUNTON SPREADING YEW | #5 | CONT. | - | |
| TO | Thuja occidentalis 'Hetz Midget' | HETZ MIDGET ARBORVITAE | #2 | CONT. | - | |
| TOM | Thuja occidentalis 'Mr. Bowling Ball' | MR. BOWLING BALL ARBORVITAE | #2 | CONT. | - | |
| TOP | Thuja occidentalis 'Pygmy Globe' | PYGMY GLOBE ARBORVITAE | #2 | CONT. | - | |
| EVERGREEN SHRUBS - FULL SUN/FULL SHADE | | | | | | |
| MD | Microbiota decussata | RUSSIAN CYPRESS | #2 | CONT. | - | |
| PERENNIALS & GRASSES - FULL SUN | | | | | | |
| A | Aster divaricatus 'Wood's Purple' | WOOD'S PURPLE ASTER | #1 | CONT. | - | 15" O.C. |
| GG | Gaillardia grandiflora 'Goblin' | GOBLIN GAILLARDIA | #1 | CONT. | - | 15" O.C. |
| CA | Calamagrostis acutiflora 'Karl Foerster' | KARL FOERSTER FEATHER REED GRASS | #1 | CONT. | - | 24" O.C. |
| SH | Sporobolus heterolepis | PRAIRIE DROPSEED GRASS | #1 | CONT. | - | 24" O.C. |
| PERENNIALS & GRASSES - FULL SUN/PART SHADE | | | | | | |
| HH | Hemerocallis 'Happy Returns' | HAPPY RETURNS DAYLILY | #1 | CONT. | - | 18" O.C. |
| HP | Hemerocallis 'Pardon Me' | PARDON ME DAYLILY | #1 | CONT. | - | 18" O.C. |
| HS | Hemerocallis 'Stella d' Oro' | STELLA D' ORO DAYLILY | #1 | CONT. | - | 18" O.C. |
| NF | Nepeta faassenii 'Walker's Low' | WALKER'S LOW CATMINT | #1 | CONT. | - | 2' O.C. |
| S | Sedum 'Herbstfreude' | AUTUMN JOY SEDUM | #1 | CONT. | - | 18" O.C. |
| SR | Sedum 'Rosy Glow' | ROSE GLOW SEDUM | #1 | CONT. | - | 12" O.C. |
| PERENNIALS & GRASSES - PART SHADE/FULL SHADE | | | | | | |
| H | Hosta | HOSTA VARIETIES | #1 | CONT. | - | SPACING VARIES |

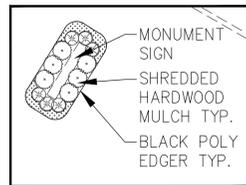


| | | |
|----------|----------|---|
| Designed | kit | I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota. |
| Drawn | HGK/ELF | |
| Date | 10/26/07 | Signature _____ Name Kevin Teppen License # 26980 |
| Checked | kit | |
| Approved | kit | Date 05.07.09 License # 26980 |

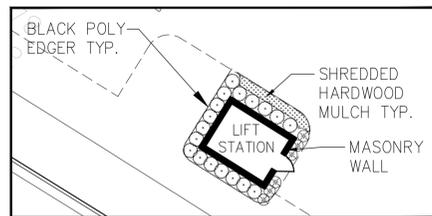
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|-------------------|--------|----------|------|--|
| Revisions | No. | Date | By | Remarks |
| | A | 10/26/07 | ELF | REVISIONS PER CITY COMMENT |
| | B | 12/07/07 | LAW | REVISIONS PER CITY COMMENT |
| | C | 05/07/09 | HR | PLD REVISION |
| | D | 06/07/13 | HR | PLD REVISION |
| | E | 08/05/13 | HR | PLD REVISION FOR McDONALD'S REVISED ENTRANCE |
| SHEET NUMBER | L.1.05 | | REV. | E |
| MFRA FILE # 16148 | | | | |



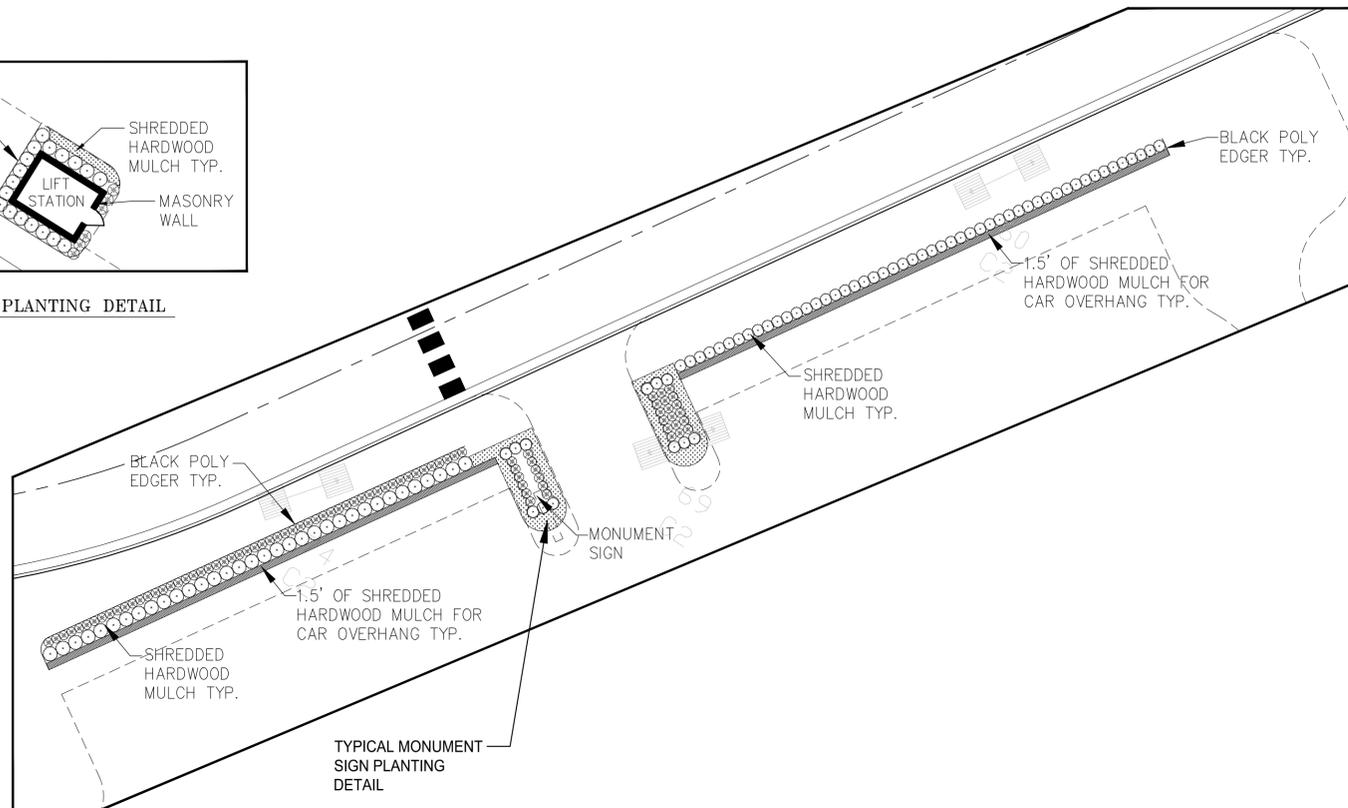
A TYPICAL MONUMENT SIGN PLANTING DETAIL
SCALE: 1" = 20'-0"



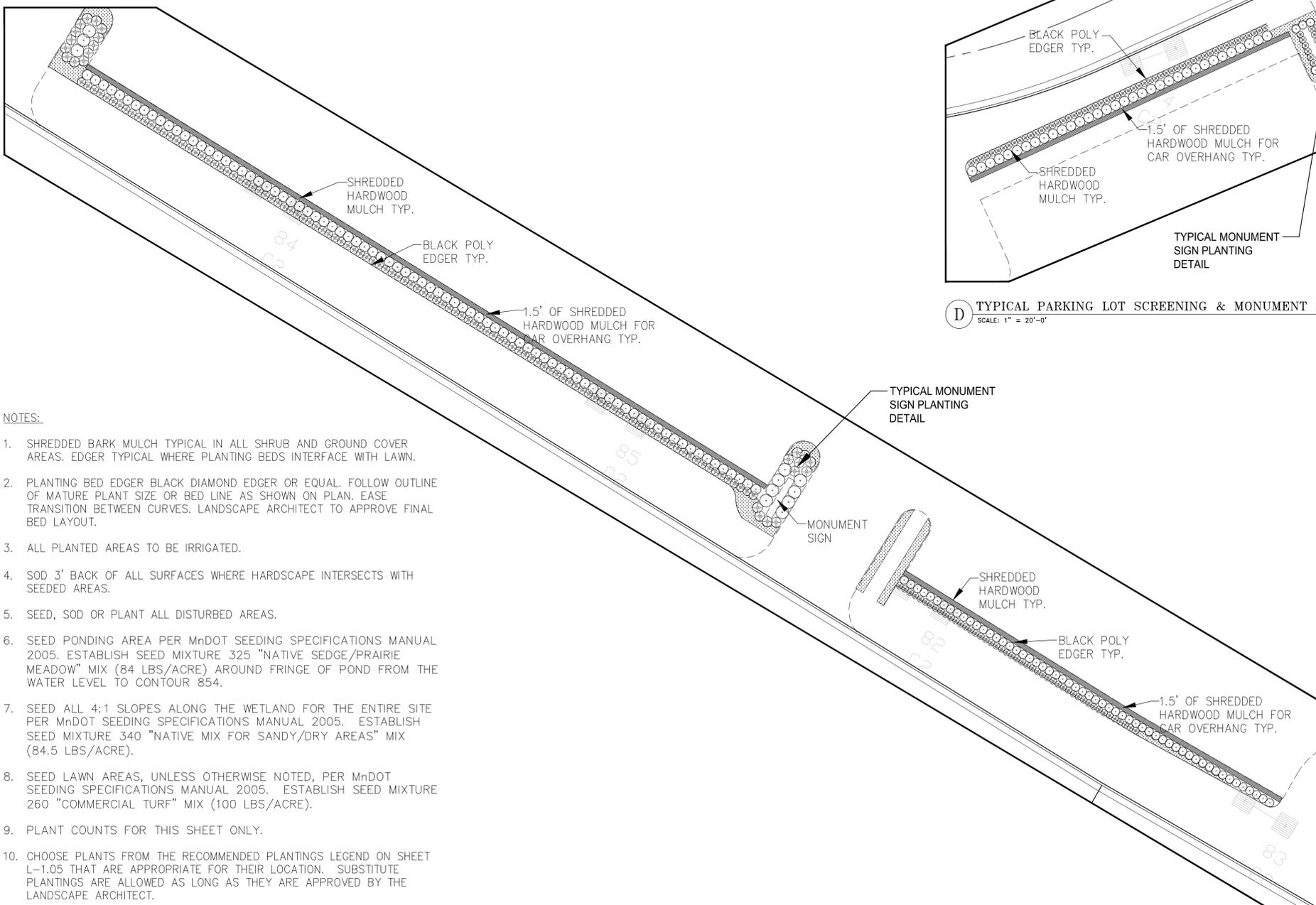
B TYPICAL MONUMENT SIGN PLANTING DETAIL
SCALE: 1" = 20'-0"



C LIFT STATION PLANTING DETAIL
SCALE: 1" = 20'-0"



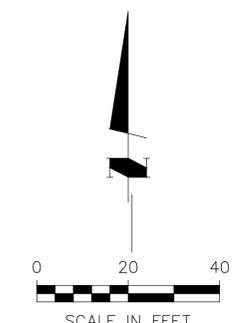
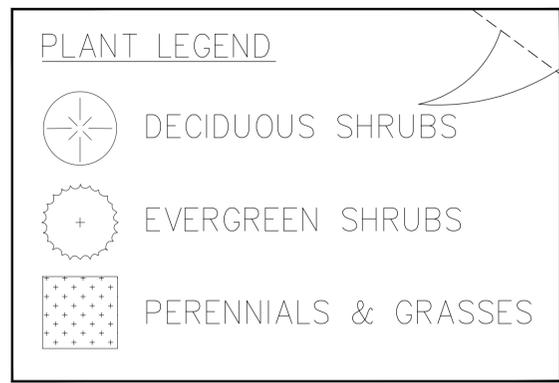
D TYPICAL PARKING LOT SCREENING & MONUMENT SIGN PLANTING DETAIL
SCALE: 1" = 20'-0"



E TYPICAL PARKING LOT SCREENING & MONUMENT SIGN PLANTING DETAIL
SCALE: 1" = 20'-0"

NOTES:

- SHREDDED BARK MULCH TYPICAL IN ALL SHRUB AND GROUND COVER AREAS. EDGER TYPICAL WHERE PLANTING BEDS INTERFACE WITH LAWN.
- PLANTING BED EDGER BLACK DIAMOND EDGER OR EQUAL. FOLLOW OUTLINE OF MATURE PLANT SIZE OR BED LINE AS SHOWN ON PLAN. EASE TRANSITION BETWEEN CURVES. LANDSCAPE ARCHITECT TO APPROVE FINAL BED LAYOUT.
- ALL PLANTED AREAS TO BE IRRIGATED.
- SOD 3' BACK OF ALL SURFACES WHERE HARDSCAPE INTERSECTS WITH SEEDED AREAS.
- SEED, SOD OR PLANT ALL DISTURBED AREAS.
- SEED PONDING AREA PER MnDOT SEEDING SPECIFICATIONS MANUAL 2005. ESTABLISH SEED MIXTURE 325 "NATIVE SEDGE/PRAIRIE MEADOW" MIX (84 LBS/ACRE) AROUND FRINGE OF POND FROM THE WATER LEVEL TO CONTOUR 854.
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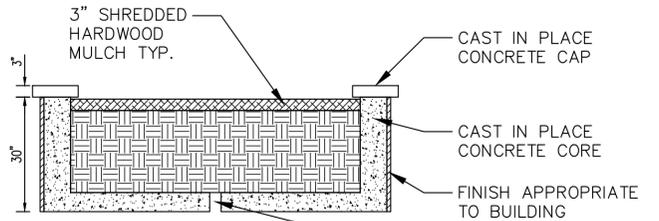
| | |
|----------|----------|
| Designed | kit |
| Drawn | HGK/ELF |
| Date | 10/26/07 |
| Checked | kit |
| Approved | kit |

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Signature: *[Signature]*
Name: Kevin Teppen
Date: 05.07.09 License # 26980

| Revisions | No. | Date | By | Remarks |
|-----------|-----|----------|-----|--|
| | A | 10/26/07 | ELF | REVISIONS PER CITY COMMENT |
| | B | 12/07/07 | LAW | REVISIONS PER CITY COMMENT |
| | C | 05.07.09 | kit | PLD REVISION |
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| | E | 08.05.13 | kit | PLD REVISION FOR McDONALD'S REVISED ENTRANCE |

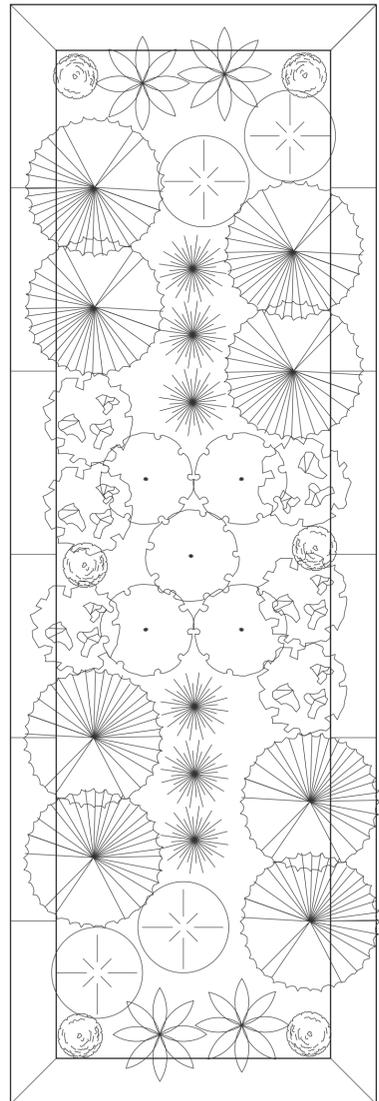
| | |
|--------------|------|
| SHEET NUMBER | REV. |
| L.1.06 | E |



NOTE:
 FINISHED PLANTER LOCATION, DIMENSIONS AND FABRICATION DETAILS BY OTHERS. PLANTS TO BE IRRIGATED.

COORDINATE DRAINAGE WITH CIVIL AND STRUCTURAL ENGINEER

SECTION



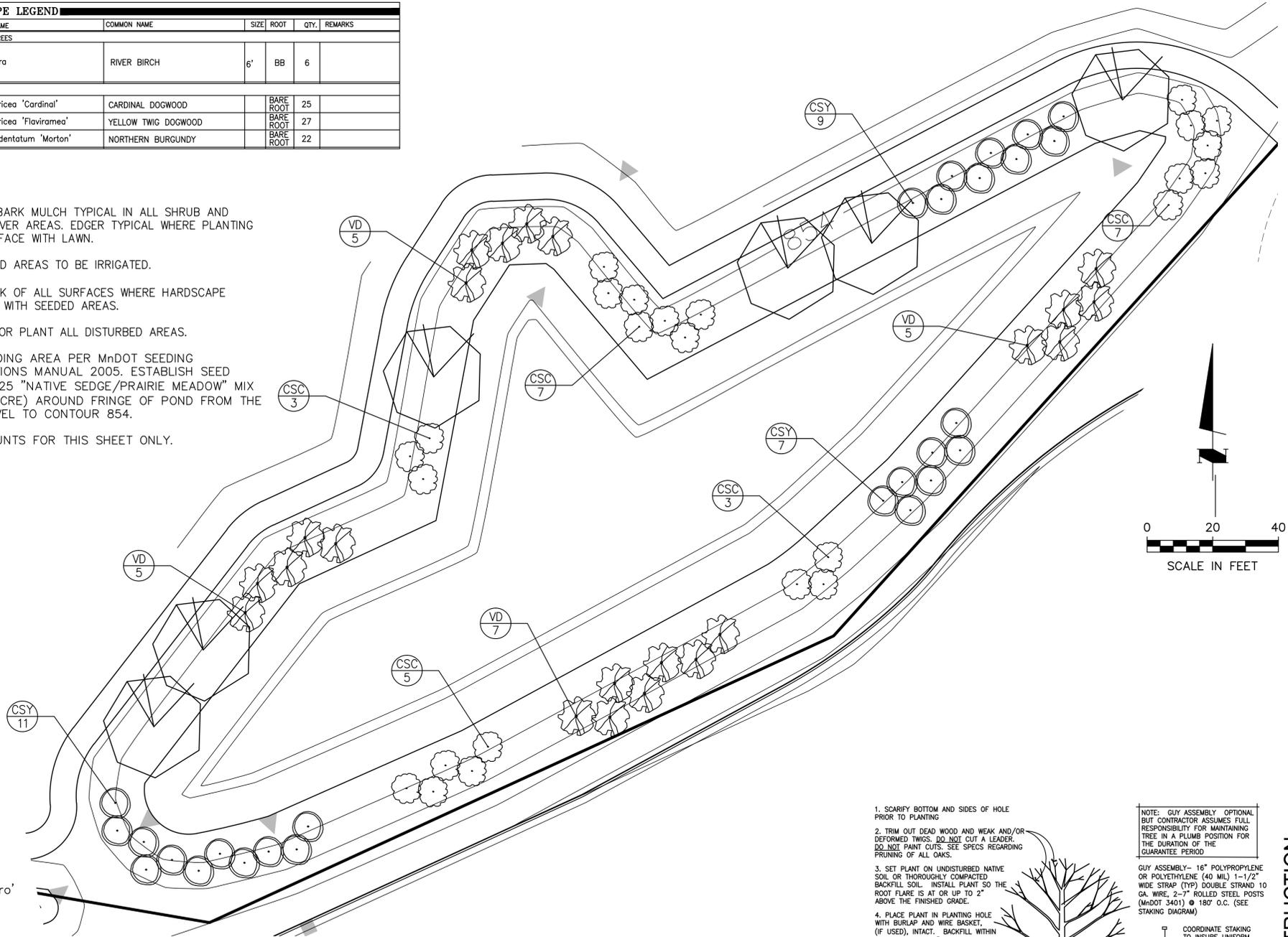
PLAN VIEW

A PARKING GARAGE PLANTER DETAIL
 SCALE: 1/2" = 1'

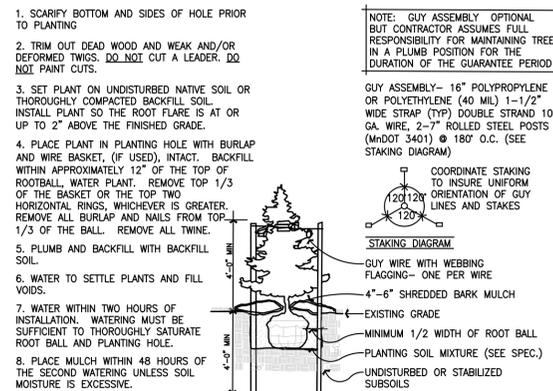
| LANDSCAPE LEGEND | | | | | | |
|------------------------|-----------------------------|---------------------|------|-----------|------|---------|
| KEY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | QTY. | REMARKS |
| DECIDUOUS TREES | | | | | | |
| | Betula nigra | RIVER BIRCH | 6' | BB | 6 | |
| SHRUBS | | | | | | |
| CSC | Cornus sericea 'Cardinal' | CARDINAL DOGWOOD | | BARE ROOT | 25 | |
| CSY | Cornus sericea 'Flaviramea' | YELLOW TWIG DOGWOOD | | BARE ROOT | 27 | |
| VD | Viburnum dentatum 'Morton' | NORTHERN BURGUNDY | | BARE ROOT | 22 | |

- NOTES:**
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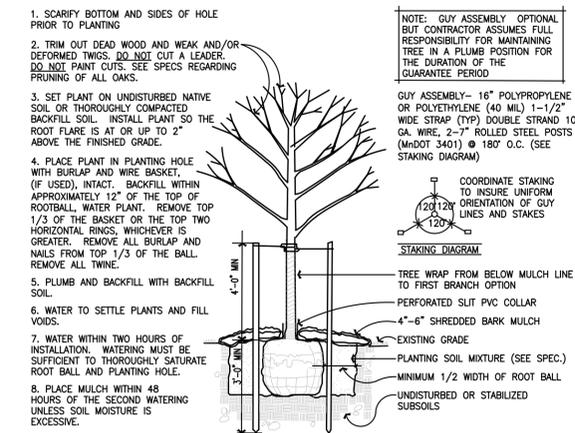
- Juniperus horizontalis 'Wiltoni'
WILTON BLUE RUG JUNIPER
- Nepeta x faassenii 'Walker's Low'
WALKER'S LOW CATMINT
- Miscanthus sinensis 'Purpurascens'
FLAME GRASS
- Aster novae-angliae 'Purple Dome'
PURPLE DOME ASTER
- Hemerocallis 'Stella d' Oro'
STELLA D' ORO DAYLILY
- Lonicera sempervirens 'Blanche Sandman'
BLANCHE SANDMAN HONEYSUCKLE VINE
- Calamagrostis acutiflora 'Karl Foerster'
KARL FOERSTER FEATHER REED GRASS



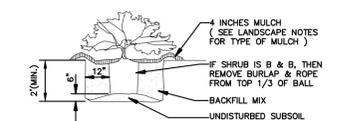
A POND PLANTING DETAIL
 SCALE: 1" = 20'-0"



B CONIFEROUS TREE PLANTING DETAIL
 NOT TO SCALE



C DECIDUOUS TREE PLANTING DETAIL
 NOT TO SCALE



D SHRUB & CONTAINER PLANTING DETAIL
 NOT TO SCALE

PUD APPROVAL ONLY, NOT FOR CONSTRUCTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

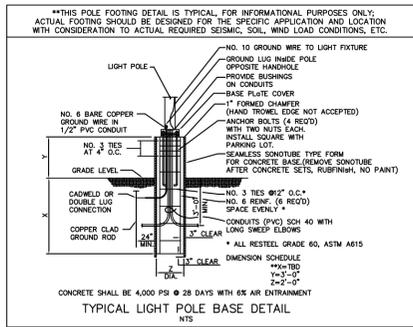
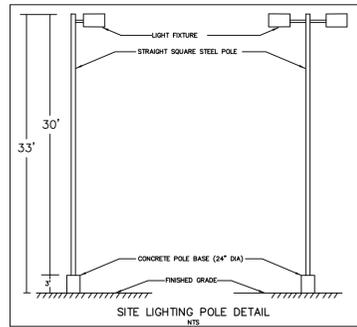
Signature: Kevin Teppen
 Name: Kevin Teppen License #: 26980
 Date: 05.07.09

| Revisions | No. | Date | By | Remarks |
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| | E | 06.05.13 | HT | PUD REVISION FOR McDONALDS REVISED ENTRANCE |

| SHEET NUMBER | REV. |
|--------------|------|
| L.1.07 | E |

Engineering • Planning • Surveying
MFRA
 14800 28th Ave. N. Suite 140
 Plymouth Minnesota 55447
 phone 763/476-6010 fax 763/476-8532
 McCombs Frank Roos Associates, Inc.

GATEWAY
COMMERCE CENTER
 COON RAPIDS, MINNESOTA
H&W FAMILY LLLP
 TYPICAL LANDSCAPE DETAILS



Statistical Area Summary

| Label | Avg | Max | Min | Avg/Min | Max/Min |
|--------------|------|-----|-----|---------|---------|
| Overall Site | 3.04 | 7.5 | 0.4 | 7.60 | 18.75 |

Luminaire Schedule

| Symbol | Qty | Label | Arrangement | Lumens | LLF | Description |
|----------|-----|-------|----------------|--------|-------|---|
| [Symbol] | 9 | C | SINGLE | 42600 | 0.800 | Tech Light #VBMFA3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 53 | C2 | BACK-BACK | 42600 | 0.800 | Tech Light #VBMFA3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 32 | D | SINGLE | 42600 | 0.800 | Tech Light #VBMAJ3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 7 | D2R | ROTATED OPTICS | 42600 | 0.800 | Tech Light #VBMAJ3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 64 | P | SINGLE | 14000 | 0.800 | Decorative Prairie Family fixture - 150 watt Pulse Start Meta |
| [Symbol] | 8 | S | SINGLE | 16000 | 0.800 | Tech Lighting #LRFB1A-PS - 175w Pulse Start Metal Halide IES |

Luminaire Location Summary

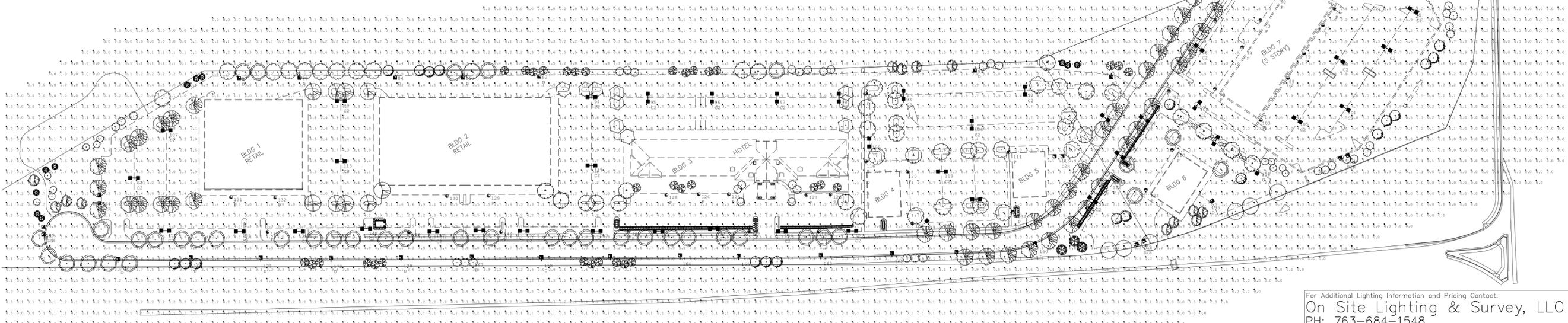
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|-------|-------|----|
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| 2 | D | 33 |
| 3 | D | 33 |
| 4 | D | 33 |
| 5 | P | 14 |
| 6 | P | 14 |
| 7 | C | 33 |
| 8 | P | 14 |
| 9 | C | 33 |
| 10 | P | 14 |
| 11 | C | 33 |
| 12 | C2 | 33 |
| 13 | D | 33 |
| 14 | P | 14 |
| 15 | P | 14 |
| 16 | P | 14 |
| 17 | D | 33 |
| 18 | P | 14 |
| 19 | C | 33 |
| 20 | C | 33 |
| 21 | D | 33 |
| 22 | C2 | 33 |
| 23 | P | 14 |
| 24 | P | 14 |
| 25 | P | 14 |
| 26 | P | 14 |
| 27 | D | 33 |
| 28 | C2 | 33 |
| 29 | P | 14 |
| 30 | D | 33 |
| 31 | S | 0 |
| 32 | S | 0 |
| 33 | S | 0 |
| 34 | S | 0 |
| 35 | C | 33 |
| 36 | P | 14 |
| 37 | P | 14 |
| 38 | P | 14 |
| 39 | P | 14 |
| 40 | C2 | 33 |
| 41 | P | 14 |
| 42 | C2 | 33 |
| 43 | C2 | 33 |
| 44 | P | 14 |
| 45 | P | 14 |
| 46 | P | 14 |
| 47 | P | 14 |
| 48 | C2 | 33 |
| 49 | C2 | 33 |
| 50 | C2 | 33 |
| 51 | S | 0 |
| 52 | S | 0 |
| 53 | S | 0 |
| 54 | S | 0 |
| 55 | P | 14 |
| 56 | P | 14 |
| 57 | D2R | 33 |
| 58 | P | 14 |

Luminaire Location Summary

| SeqNo | Label | Z |
|-------|-------|----|
| 59 | D | 33 |
| 60 | C2 | 33 |
| 61 | P | 14 |
| 62 | P | 14 |
| 63 | C2 | 33 |
| 64 | D2R | 33 |
| 65 | P | 14 |
| 66 | C | 33 |
| 67 | C2 | 33 |
| 68 | P | 14 |
| 69 | C2 | 33 |
| 70 | P | 14 |
| 71 | P | 14 |
| 72 | C2 | 33 |
| 73 | P | 14 |
| 74 | P | 14 |
| 75 | P | 14 |
| 76 | C2 | 33 |
| 77 | C2 | 33 |
| 78 | P | 14 |
| 79 | P | 14 |
| 80 | C2 | 33 |
| 81 | D | 33 |
| 82 | D | 33 |
| 83 | D | 33 |
| 84 | D | 33 |
| 85 | D | 33 |
| 86 | D | 33 |
| 87 | D | 33 |
| 88 | P | 14 |
| 89 | P | 14 |
| 90 | C2 | 33 |
| 91 | P | 14 |
| 92 | P | 14 |
| 93 | C2 | 33 |
| 94 | C2 | 33 |
| 95 | C2 | 33 |
| 96 | C2 | 33 |
| 97 | C2 | 33 |
| 98 | C2 | 33 |
| 99 | C2 | 33 |
| 100 | C2 | 33 |
| 101 | C2 | 33 |
| 102 | C2 | 33 |
| 103 | P | 14 |
| 104 | C2 | 33 |
| 105 | C2 | 33 |
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| 107 | C2 | 33 |
| 108 | C2 | 33 |
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| 110 | P | 14 |
| 111 | P | 14 |
| 112 | C2 | 33 |
| 113 | D2R | 33 |
| 114 | D2R | 33 |
| 115 | C2 | 33 |
| 116 | P | 14 |

Luminaire Location Summary

| SeqNo | Label | Z |
|-------|-------|----|
| 117 | C2 | 33 |
| 118 | C | 33 |
| 119 | C2 | 33 |
| 120 | P | 14 |
| 121 | C2 | 33 |
| 122 | P | 14 |
| 123 | P | 14 |
| 124 | P | 14 |
| 125 | P | 14 |
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| 130 | P | 14 |
| 131 | P | 14 |
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| 133 | C2 | 33 |
| 134 | D2R | 33 |
| 135 | C2 | 33 |
| 136 | D | 33 |
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| 148 | C2 | 33 |
| 149 | D2R | 33 |
| 150 | C2 | 33 |
| 151 | C2 | 33 |
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| 154 | C2 | 33 |
| 155 | C2 | 33 |
| 156 | C2 | 33 |
| 157 | C2 | 33 |
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| 159 | D2R | 33 |
| 160 | D | 33 |
| 161 | D | 33 |
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| 163 | D | 33 |
| 164 | D | 33 |
| 165 | D | 33 |
| 166 | D | 33 |
| 167 | D | 33 |
| 168 | D | 33 |
| 169 | D | 33 |
| 170 | D | 33 |
| 171 | D | 33 |
| 172 | D | 33 |
| 173 | D | 33 |



1 ON SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 100'

For Additional Lighting Information and Pricing Contact:
On Site Lighting & Survey, LLC
 PH: 763-684-1548
 Project No. 7070222

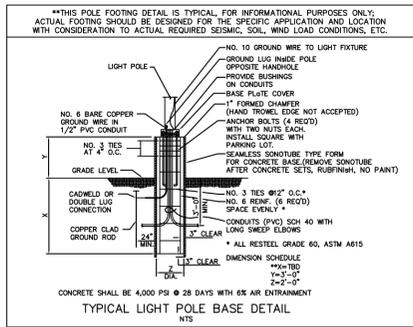
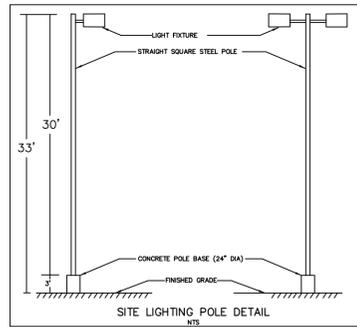
Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.
 This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaires may vary due to variation in electrical voltage, tolerance in lamp's and other variable field conditions.

On-Site Lighting & Survey, LLC
 1111 Hwy 25 North, Suite # 201
 Buffalo, MN 56313
 Ph 763-684-1548 Fax 763-682-9048

Revision: Date:
 A 03/05/2007
 B 04/10/2007
 C 10/05/2007
 D 10/05/2007
 E 10/26/2007
 F 11/27/2007
 G 12/05/2007
 H 12/06/2007
 J 05/11/2009

PHOTOMETRIC PLAN

Project: **GATE COMMERCE CENTER COON RAPIDS, MN**
 Project #: **7070222**
 Contract #: _____
 Issue Date: **02/22/2007**
 Scale: **AS NOTED**
 Drawn/Checked: **SAZ/JJK**
 Sheet #: **SL1.0** Rev. #: **J**



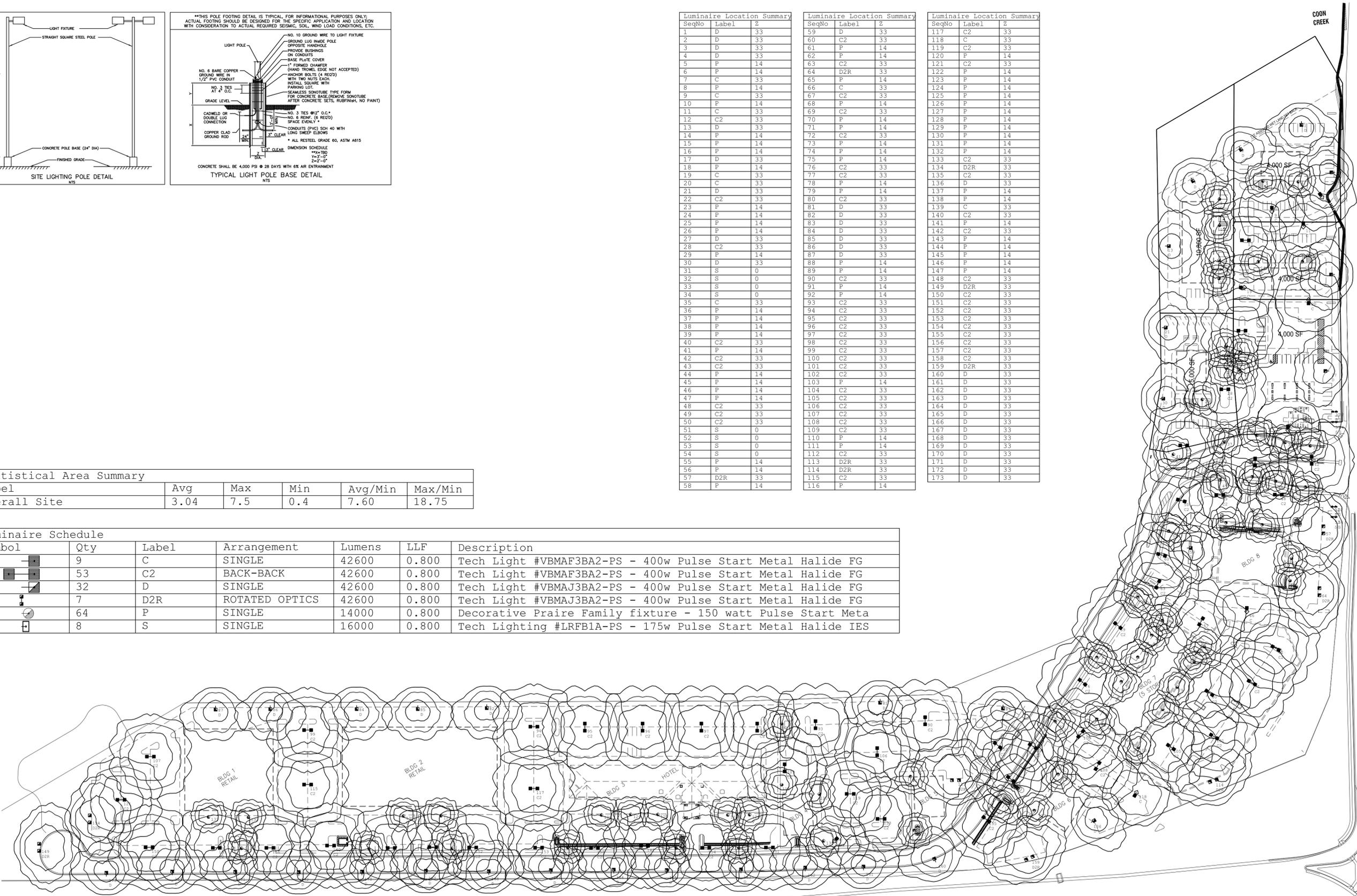
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| 2 | D | 33 |
| 3 | D | 33 |
| 4 | D | 33 |
| 5 | P | 14 |
| 6 | P | 14 |
| 7 | C | 33 |
| 8 | P | 14 |
| 9 | C | 33 |
| 10 | P | 14 |
| 11 | C | 33 |
| 12 | C2 | 33 |
| 13 | D | 33 |
| 14 | P | 14 |
| 15 | P | 14 |
| 16 | P | 14 |
| 17 | D | 33 |
| 18 | P | 14 |
| 19 | C | 33 |
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| 27 | D | 33 |
| 28 | C2 | 33 |
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| 58 | P | 14 |

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| 157 | C2 | 33 |
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| 159 | D2R | 33 |
| 160 | D | 33 |
| 161 | D | 33 |
| 162 | D | 33 |
| 163 | D | 33 |
| 164 | D | 33 |
| 165 | D | 33 |
| 166 | D | 33 |
| 167 | D | 33 |
| 168 | D | 33 |
| 169 | D | 33 |
| 170 | D | 33 |
| 171 | D | 33 |
| 172 | D | 33 |
| 173 | D | 33 |

| Statistical Area Summary | | | | | |
|--------------------------|------|-----|-----|---------|---------|
| Label | Avg | Max | Min | Avg/Min | Max/Min |
| Overall Site | 3.04 | 7.5 | 0.4 | 7.60 | 18.75 |

| Luminaire Schedule | | | | | | |
|--------------------|-----|-------|----------------|--------|-------|--|
| Symbol | Qty | Label | Arrangement | Lumens | LLF | Description |
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| [Symbol] | 53 | C2 | BACK-BACK | 42600 | 0.800 | Tech Light #VBMAF3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 32 | D | SINGLE | 42600 | 0.800 | Tech Light #VBMAJ3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 7 | D2R | ROTATED OPTICS | 42600 | 0.800 | Tech Light #VBMAJ3BA2-PS - 400w Pulse Start Metal Halide FG |
| [Symbol] | 64 | P | SINGLE | 14000 | 0.800 | Decorative Praire Family fixture - 150 watt Pulse Start Meta |
| [Symbol] | 8 | S | SINGLE | 16000 | 0.800 | Tech Lighting #LRFB1A-PS - 175w Pulse Start Metal Halide IES |



TRUNK HIGHWAY 10

1 ON SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 100'

For Additional Lighting Information and Pricing Contact:
On Site Lighting & Survey, LLC
 PH: 763-684-1548
 Project No. 7070222

Issue Date: 02/22/2007
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Planned Unit Development (PUD) Design Guidelines

NW Corner Hanson Boulevard and Highway 10
Coon Rapids, Minnesota

Credits & Acknowledgements:

We would like to thank the City of Coon Rapids planning staff, Planning Commission and City Council as well as the developer's engineers, architects and planners who attended the workshops and meetings and gave their input to shape the planning process. Their input has been invaluable in developing these design guidelines.

City Council

Tim Howe, Mayor
Denise Klint, Ward 1
Ron Manning, Ward 2
Paul Johnson, Ward 3
Joe Sidoti, Ward 4
Bruce Sanders, Ward 5
Scott Schulte, At Large

Planning Commission

Donna Naeve, Chair
Tom Greenwood, Commissioner
Denise Hosch, Commissioner
Todd Mensink, Commissioner
Margeret Murphy, Commissioner
Joy Pirkel, Commissioner
Jenny Geisler, Commissioner

City of Coon Rapids

Marc Nevinski, Community
Development Director
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Architectural Consortium, LLC
Brett Loftesnes, Architectural Consortium,
LLC.

Planning & Urban Design Consultant

Carolyn Krall, AIA, Landform
Ellen Stewart, ASLA, Landform
Teresa Forsberg, Assoc. AIA, Landform

Planned Unit Development (PUD) Site Development Agreement

The Planned Unit Development (PUD) Design Guidelines are intended to be part of a PUD Site Development Agreement which, together with the approved Preliminary Plat, will define the project scope and act as the guiding plan for the development of this significant corner. The Guidelines are intended to work in conjunction with and in addition to the Coon Rapids City Code standards. All construction is subject to abide by all codes and ordinances as adopted by the State of Minnesota, Anoka County, the City of Coon Rapids and all other pertinent regulations. The design guidelines shall prevail in the event of a conflict.

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I. Introduction to P.U.D. Design Guidelines

A. Purpose

The Planned Unit Development (PUD) Design Guidelines are intended to be part of a PUD Site Development Agreement which, together with the approved Preliminary Plat, will define the project scope and act as the guiding plan for the development of this significant corner. The developer intends to develop the site in phases and may sell individual lots or parcels to developers, builders or owner-occupants who would complete the approvals and build-out of their individual lots. The guidelines ensure quality and consistency within the overall development through the process. Guidelines address site design and layout, harmonious style and materials, building massing, materials, architectural features, site landscaping, lighting and signage to establish an overall aesthetic for the Gateway Commerce Center.



The guidelines serve the purpose of identifying elements and design criteria that must be incorporated into the project and communicate the expectations of the City to individual site builders, owners and tenants for each phase within the overall development.

Framework Principles for Coon Rapids

This Planned Unit Development should support the overall design principles for the City of Coon Rapids established in the Comprehensive Plan. These principles can

be summarized as follows:

- 1) Enhance Coon Rapids' image.
- 2) Improve the public realm.
- 3) Preserve and protect natural resources.
- 4) Encourage complementary, adjacent uses & assets.
- 5) Attract new, desirable uses.
- 6) Expand connectivity for both automobiles and pedestrians.
- 7) Reduce negative impacts of development (*i.e. traffic congestion, stormwater run-off, etc.*).

B. Submission, Review and Approvals Process

These Design Guidelines will be finalized by City Staff and approved by the Planning Commission and City Council in conjunction with the Planned Unit Development (PUD) submission. This submission shall include all documentation itemized in the PUD Agreement for the entire development plan. The entire PUD shall be reviewed by the Planning Commission which will make recommendations to the City Council, who will consider approval of the entire PUD. The approved PUD submission documents, including the PUD Agreement and these Design Guidelines, will then form the basis for final site approvals for all or any part of the development. These guidelines are in effect and in conjunction upon approval of the final plat and PUD.

Final approvals for each individual lot within the PUD will go to the Planning Commission for review and final approvals, with appeal available to the City Council. However, proposed modifications which affect the entire PUD, such as road realignment or lot line adjustments, or any other substantial alterations to signage, lighting or landscape plans, will require City Council approval.

C. Introduction and Overview

These Design Guidelines are intended to provide a framework for the future development of this significant site in Coon Rapids. The Design Guidelines should provide a baseline for quality

development that meets the community's goals.

Goal 1: Preserve and protect natural resources

Goal 2: Respect the existing context while encouraging new, contextual responses

Goal 3: Establish a baseline for design and quality

Goal 4: Provide a unified, overall plan and image to be consistent with phased development

Objectives

The specific objectives for these Design Guidelines are:

- To establish a clear definition of urban design standards that informs property owners, developers, builders, tenants and current and future decision-makers
- To serve as a tool that planners and designers can use and incorporate into their plans to achieve and support the City's design objectives
- To act as a basis for a uniform and consistent review of development and redevelopment proposals by the City Council and Planning Commission

Format

This document is written with Intent Statements, detailed Guidelines and Illustrations. The Intent Statements present the overall goal for development and describe a desired outcome within the site or building design category. The Guidelines provide specific directions on how the intent should be met. The Illustrations are either sketches that further illustrate the Guidelines or photos presenting examples of how the Design Intent has been achieved in other projects.

Definitions

This document is written in common English with all terms as defined in the Merriam-Webster on-line dictionary (www.m-w.com). Land use terms shall be the same as defined in the City Code. The following terms are used frequently in the guidelines.

context: the interrelated conditions in which something exists or occurs

discourage: to hinder by disfavoring

encourage: to attempt to persuade or to spur on

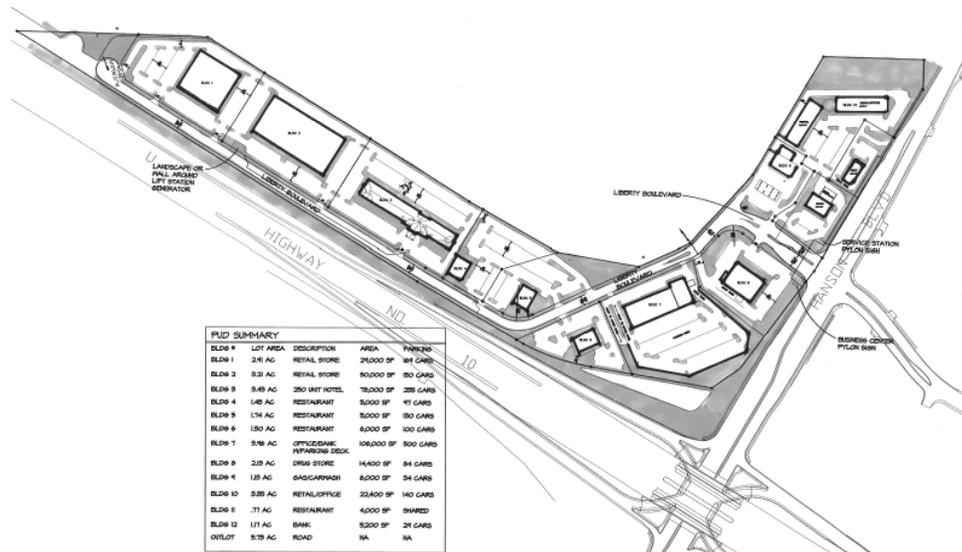
shall: used in laws, regulations, or directives to express what is mandatory

should: used to express a request in a polite manner or to soften direct statement

2. Commercial District

A. General

The Gateway Commerce Center is expected to include a mix of commercial uses – both destination uses and local, neighborhood-oriented retail and business uses. One side of the Center fronts on Highway 10 and has good visibility to support destination commercial uses. The other side fronts on Hanson Boulevard where more neighborhood-oriented commercial and smaller retail uses are appropriate. Hanson Boulevard offers the only vehicular access into the site. A full-access intersection is planned at Northdale Avenue and Hanson Boulevard which is relatively close to the Highway 10 ramp entrance. A right-in-only access, also on Hanson Boulevard, has been approved by Anoka County. The City hopes to be able to provide an additional road connection to the site from the northwest, enhancing the existing access significantly and allowing for a greater variety of commercial uses.



The Center is also adjacent to significant natural resources. North of the site there is an expansive wetland and in the future the City or County may undertake wetland restoration and improvements. Directly across the street from the Center is Lions Park – a local park with trails that are expected to be extended on the north side of the site to connect to the regional trail system. There are residential neighborhoods adjacent to the park and wetlands, so the Center should provide a pedestrian-friendly environment along this significant resource as well as pedestrian connections throughout the site.

1. New development should consider the available site access. Uses shall not exceed the assumptions included in the Traffic Study for the Business Center in Coon Rapids, December 2004, which formed the basis for the design of the Hanson Boulevard and Northdale intersection improvements. Uses which exceed those assumptions and would result in an overall intersection level of service (LOS) below D, measured at either peak AM or peak PM hour, at the Hanson Boulevard intersections are not acceptable.
2. All new development should be sensitive to existing residential in the design and location of new uses and buildings with respect to shading, views, light and noise pollution; where necessary, appropriate screening or buffering shall be provided.
3. New development shall provide for pedestrian as well as vehicular circulation and shall create linkages to existing and proposed sidewalks and trails.
4. The northwest corner of Hanson Boulevard and Highway 10 is a key point that has been identified as a primary entrance to Coon Rapids and should be designed as a “gateway” to the City. Gateway elements could include both City and development identity features, incorporating signage and unique landscaping, walls or gates, water features and open space which offer views to the adjacent wetlands and ponds.
5. New development should be designed to value, respect and preserve identified natural features and resources. Natural amenities shall be incorporated as features within public spaces through innovative planning and design approaches.



1) Land Use

Intent:

To welcome a mix of high quality office, hospitality, service and retail uses -- both destination uses, and local neighborhood retail and business uses. Land uses should be diverse yet complementary and provide places for residents to meet and socialize.

- a) Development should include a range of commercial uses appropriate to the Coon Rapids area including office, hospitality, retail, service and other commercial uses.
- b) Large scale commercial uses should be concentrated along the Highway 10 entrance ramp, rather than on Hanson Boulevard.
- c) A mix of diverse yet complementary uses appropriate to this area should be located closer to Hanson Boulevard; neighborhood-oriented retail and service commercial uses that support the community and nearby residential neighborhoods such as drug stores, banks, specialty markets and local retailers are encouraged.
- d) Retail or service uses whose primary use includes tattooing, branding, body piercing, or uses subject to licensing under Title 5 of the Coon Rapids City Code, except for the sale of alcoholic beverages or the operation of a therapeutic massage enterprise, shall not be allowed.



- e) Destination, hotel, restaurant, recreational and entertainment uses, particularly mixed with compatible, complementary or other synergistic uses, are encouraged. Automotive repair/service uses or uses with excessively high traffic generation are discouraged.
- f) Buildings 4, 5, and 6 will be “full-service, sit-down” restaurants, where food is both ordered and served by wait staff. Drive-through service will not be provided at these locations.
- g) Uses appropriate to this area that enhance their business by providing drive-through services (i.e. convenience food/gas stations, banks, coffee shops and pharmacies) are permitted provided they are designed to minimize impact on local traffic circulation and limit conflicts with pedestrian access.
- h) Parking lots shall be allowed only as an accessory use, except for shared ramp parking which shall be limited to serving on-site uses. Shared parking is encouraged (see section which follows on parking and services areas).



2) Streets and Public Spaces

Intent:

To provide a well designed public realm that combines access and safety for pedestrians and vehicles while enhancing connectivity between businesses, retail shops, restaurants, parking and public spaces through a logical, safe and well marked, vehicular and pedestrian circulation system.

- a) The central street through the development shall have a 60’ minimum right-of-way (ROW) which shall include the following:
 - (i) Drive lane width not more than 36 ft., west of building seven to reduce impervious surface, discourage larger trucks and encourage traffic to slow down, especially through the more active areas of the development;
 - (ii) Sidewalks not less than 5 ft. wide on both sides of the street at the Hanson Boulevard entrance. Sidewalks not less than 5 ft. wide on one side of the street in locations where there are uses only on one side of the street;
 - (iii) Planted boulevard buffer 6 ft. wide between the curb and sidewalk with street trees to provide shade and a sense of scale. This boulevard may be reduced or terminated approaching intersections to allow for pedestrian crossings;
 - (iv) Street lighting that meets the design standards and provides for both street lighting and pedestrian lighting on sidewalks to add character to the street corridor;
 - (v) Where appropriate, areas for seating, street furniture or other pedestrian amenities such as benches, planters, walls, fences, bollards, banner poles, bike racks and other elements that enhance the public realm. These elements shall be managed and maintained to reduce visual and physical clutter while elevating the quality of the pedestrian environment;



- (vi) Where necessary, such as where the street ROW does not allow for a wider sidewalk; these amenities may need to be accommodated within the parcel boundaries.
- b) All street intersections shall be safe for pedestrians and include enhancements to safety such as textured-colored paving or striping to mark crosswalks, narrowed or throated intersections, pedestrian-oriented street lighting, landscaped boulevards buffering the sidewalks from busy streets and pedestrian crossing warning signage at major crosswalks and all trail crossings.
- c) The development shall provide pedestrian connectivity between uses (businesses, parking, open space, etc.) with a designated and well marked pedestrian circulation system that encourages parking and walking rather than driving to each destination within the center, as designated in the pedestrian trail plan.

3) Open Space, Trails and Stormwater Management

Intent:

To enhance and protect adjacent, natural resources while offering the public enhanced access, connectivity and preserved views along the edge of the existing wetlands and creek.



- a) The development has received approvals for stormwater management and the required ponds, located outside the lot lines, are shown on the master plan. Pond edges and landscaping should appear as natural as possible, discourage geese, prohibit wading and reduce algae and other unattractive, surface accumulations.
- b) Site development should encourage the reduction of impervious cover and increase on-site infiltration to reduce potential non-point, source pollution and contaminants from stormwater runoff, where feasible.



- c) Maintain the minimum 10 ft. parking setback on the northern edge of the development along the wetlands as an open-space corridor connecting the site from north to south. The City intends to work with the County to seek approvals for a future pedestrian boardwalk and/or trail as a pedestrian amenity along the north edge of the property. To coordinate with this future amenity, the open space corridor should include:



- (i) At least two paved pedestrian connections between this corridor (future boardwalk) and the sidewalks along the central street, as appropriate;
- (ii) An eight foot wide paved bicycle trail connection extending from this corridor along the north side of the central street to the Hanson Boulevard intersection, where the City intends to connect the trail to the existing bicycle trail at Lions Park;



- (iii) Well defined pedestrian connections pedestrian-oriented destination uses such as retail, cafes or restaurants; these connections may be shared between lots or uses;

- (iv) Pedestrian amenities where the paved bicycle trail connects to this corridor that could include places to rest with benches, bike racks, pedestrian-oriented lights, banner poles, planters, shade trees and similar elements;
- (v) Landscaping that acts as a year-round buffer, and make a harmonious transition from the more groomed landscaped areas to the more natural landscape of the wetland edges.

4) Landscaping and Screening

Intent:

To provide landscaping that enhances the public realm, preserves natural areas including areas with wetlands and contiguous, significant native vegetation, maximizes wildlife habitat corridors and water quality and provides a focal point for development. Landscaping plans for the entire PUD and each individual site shall meet the requirements of the City's landscaping standards for commercial developments to the extent possible and the goals of this section.



- (a) Where possible, utilize trees, shrubs and plant materials indigenous to this geographic location and soils, providing habitat value and promoting biodiversity through avoidance of monoculture plantings.



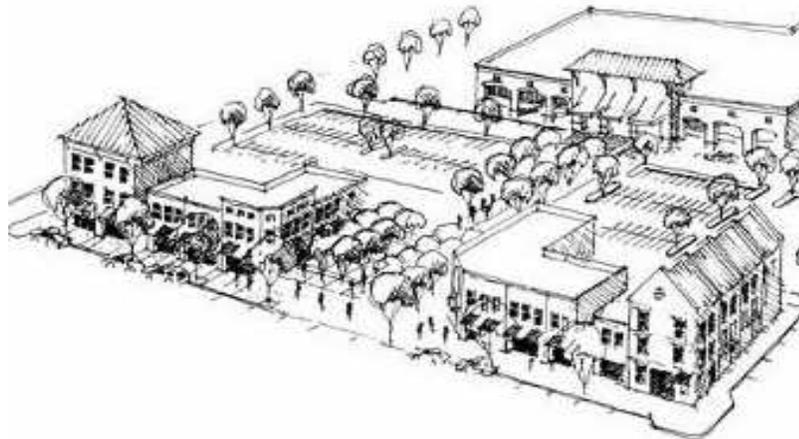
- (b) Maximize green space along the open-space corridor. Open space shall be planted with trees, shrubs, perennials and grasses to enhance the buffers for adjacent areas, reduce maintenance, reduce nitrogen usage and reduce water demands for irrigation while providing a focal point for development.

- (c) Provide street trees to frame the street and provide shade and scale with planting areas that are a minimum of 8 ft. long x 4 ft. wide to allow trees to grow to acceptable sizes. Structural soils (Cornell University Certified or equal) shall be the planting medium for all street trees.



- (d) Use a mixture of vegetation, berms, walls and fencing to screen areas such as parking lots, mechanical systems, transformers and loading docks. Screening materials shall be consistent with the building materials and other elements in the development. Fencing or a mechanical vent screen alone is not sufficient.

- (e) Off-street, surface parking areas shall include landscaped areas equivalent to 30 sq. ft. of landscaping for each parking space in the parking lot or not less than 10 percent of the area of the parking lot. Required landscaping shall take the form of planter strips, landscaped areas and perimeter landscaping. The landscaping shall be dispersed throughout the parking lot and must extend along the entire frontage of adjacent streets except for entry points. Planter strips shall be a minimum of five ft. in width.



- (f) Building facades and exposed foundations shall be articulated with landscaping to provide visual interest and soften appearances.
 - (i) Ornamental plant materials may be used such as flowering trees, shrubs and perennials.
 - (ii) Plantings shall be massed and scaled as appropriate for the building design.

B. Site Development

The overall development plan should be well laid out to ensure that all uses have good access, well located parking, safe, attractive pedestrian connections and adequate visibility. The development should be pedestrian-friendly and walkable for everyone whether arriving by automobile, motorcycle, bicycle, bus or foot.

I) Building Orientation

Intent:

To position buildings in a way that responds to climate and site conditions, provides good visibility to improve way-finding and enhances pedestrian accessibility.

- (a) All new development shall be sensitively designed and sited so as to preserve the key vistas from Hanson Boulevard through the site to the wetlands and creek.
- (b) Buildings shall be oriented and designed to consider sun and shade, wind exposure and snow drifting to avoid creating icy or dangerous conditions.
- (c) Building and paving setbacks shall be not less than 10 ft. on the wetland edge. Building setback shall not be less than 30 ft. from the Hanson Boulevard right of way and paving setbacks shall not be less than 10 ft. from the edge of the sidewalk easement.
- (d) Buildings along Hanson Boulevard shall be oriented to face the central parking area with well articulated facades. Service areas shall not face Hanson Boulevard.



Where commercial retail uses occupy the first floor, traditional storefronts (doors, display windows, or both) are encouraged to face towards the sidewalk.

- (e) Building entries shall be both visible and accessible by pedestrians from the main street (Hanson Boulevard or the new central street) and easily distinguished from the building facade; entrance areas shall be well lit, covered or protected from weather and include significant glazing and glass doors where the public will be entering the building.
- (f) Buildings may provide a second entrance from a side or rear parking lot, but the street-front entry must remain open during business hours.
- (g) Buildings shall be oriented to minimize views of service areas (service doors, equipment and loading docks) from public streets; access to these service areas needs to be provided at the alleys, sides or backs of the buildings.

2) Site Coverage

Intent:

To minimize impervious surfaces and stormwater run-off by reducing building footprints, reducing paved parking areas and providing more permeable surfaces.



- (a) Building footprints and site coverage shall be minimized through the use of multiple stories and more efficient layouts where feasible.
- (b) Impervious surface or hardscape should be minimized by reducing the width of drive lanes and parking lots and encouraging central structured parking or shared parking where possible. The developer is responsible for demonstrating parking adequacy based on time of use and demands of individual and surrounding uses.
- (c) Alternative materials such as permeable pavers, porous asphalt, vegetated roof areas, especially on the parking deck, and other innovative techniques to reduce stormwater run-off shall be encouraged.

3) Parking and Service Areas

Intent:

To encourage better site design including improved parking lot efficiency and ease of use while reducing the area of paved surface required and minimizing negative impacts of parking and service areas.



- (a) Parking lots shall be laid out for both efficiency and ease of use with entrances and exits clearly visible and marked.

(b) Parking spaces should be a minimum of 9 ft. wide and 18 ft. long with a back-up area of not less than 24 ft. Up to 20% of the spaces provided in any parking lot may be designated for compact cars with parking spaces 16 ft. long.



(c) Where appropriate and feasible, shared parking is encouraged to take advantage of varying parking demands between mixed uses and reduce the overall parking area on the site. The developer is responsible for demonstrating parking adequacy based on time of use and demands of individual and surrounding uses, using national standards for parking demand (such as ITE, APA, ULI, etc). If at any time, the planned uses change, the shared parking calculations would need to be reconsidered based on the proposed new uses.

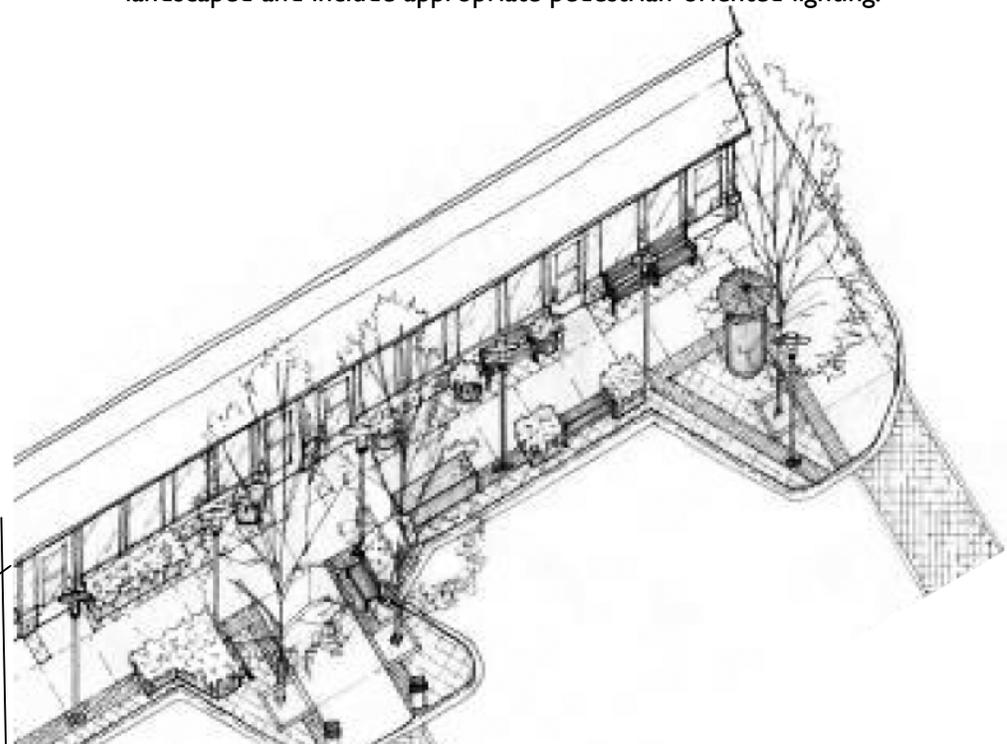
(d) Parking lots and driveways along Hanson Boulevard should be minimized. Where a driveway, parking lot or parking deck located along Hanson Boulevard should be well landscaped, screened and buffered with a combination of fencing, walls and plantings along the edge.

(e) Where a parking lot fronts on the central street, Hanson Boulevard or the open space corridor, the lot shall be well landscaped and screened. Screening materials should include, singularly or in combination, ornamental fencing, walls, berms and plantings along the street edge.

(f) Parking bays with an excess of 30 vehicle capacity shall be sub-divided with internal landscaping and pedestrian sidewalks or walkways to create the appearance of smaller parking areas. A bay consists of two rows of parking stalls nose to nose.

(i) Pedestrian walkways should be well defined (raised, paved and/or marked) and provide pedestrians a safe route to a sidewalk, trail, public space or the entrance of a commercial building.

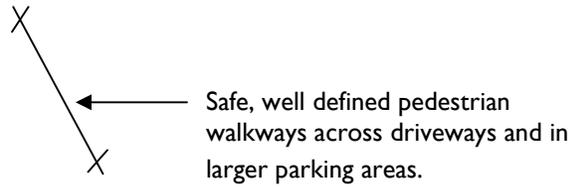
(ii) Pedestrian walkways provided in larger parking lots should also be landscaped and include appropriate pedestrian-oriented lighting.



Shop-related furniture & amenities zone



Public Area:
trash receptacles,
newspaper stands,
streetlights, signs
& street trees
planted where
sidewalk widens



(g) Parking decks or structures shall not be located along or front on the open space corridor. Parking decks or structures fronting Hanson Boulevard shall be designed to minimize the apparent height of the ramp and the top parking deck shall not be more than 3 ft above the most adjacent Hanson Boulevard sidewalk elevation. Landscaped screening requirements are the same as for other parking lots (see above) along Hanson Boulevard.



(h) Buildings should be oriented to minimize views of service areas, service doors, meter banks and equipment and loading docks from the street. In addition, these areas should be screened with a combination of solid screening (walls or fences) and landscaping.



(i) Screening materials should be of the same style, materials and palette as the buildings; metal fencing or a mechanical vent screen alone is not sufficient.

(ii) Access to these service areas needs to be provided at the alleys, sides or backs of the buildings.



(i) All mechanical equipment and trash areas shall be fully screened and coordinated with the architecture of the buildings, using the same materials and construction type as the buildings. Free-standing enclosures are discouraged and interior service areas are encouraged.

C. Architecture

The architecture of the development and all new buildings should be respectful of and relate well to the existing context – natural and man-made – in massing, materials, style and color that expresses complementary design and an appropriate sense of scale.

1) Architectural Character

Intent:

To define the quality and character of the architecture for all new buildings and structures within the development.



- (a) Buildings should be designed to relate well to the existing natural and man-made environment in massing, materials, style and color. The design of the landscape and hardscape elements should be well coordinated and harmonious with the building design and materials.
- (b) Buildings should be designed in an appropriate, regional style using materials appropriate to the Coon Rapids area; the appearance of native stone is preferred (or a suitably durable material with an appearance of native stone) for landscape walls, monument signs, signage bases, architectural features, decorative hardscape elements and for a building base or foundation material.
- (c) Parking decks and their access ramps or structures shall be designed to harmonize with the buildings they serve in layout, massing, materials, color and overall architectural quality and character in order to minimize their visual impact.
- (d) Corporate chains shall customize their architecture as needed to express their design “brand” in a way that does not dominate the development and harmonizes with the overall development context, colors, materials and style.
- (e) Green building and site design and sustainable design, construction and maintenance practices are encouraged, where feasible.

2) Building Massing and Form

Intent:

To define the quality and character of the architecture for all new buildings and structures within the development.



- (a) The development shall allow for a variety of building heights and masses as appropriate and feasible for the proposed uses. Multi-story buildings are more appropriate along Highway 10 and close to the Highway 10 and Hanson Boulevard corner than directly on Hanson Boulevard. Building massing should encourage views out to, and over the wetlands amenity.
- (b) Building massing and design elements should include an expression of a building base (ideally with the appearance of stone), a middle and a top with an expressed cornice line at the top of the first floor and the top of the building.
- (c) Buildings should be designed using the same quality materials on sides that are visible from public streets. Rear or non-street facing facades shall include designs and materials that relate to the front or street-facing facades.
 - (i) All facades shall be articulated with a variety of materials, glazing, awnings or other details to add visual interest.



(ii) Roof lines and cornice details shall be completed in a three-dimensional manner so that the back of walls, roof features or any other unfinished areas are not visible.

(iii) Buildings may have expressed front façades with unique designs or more significant amounts of glazing, decorative elements or materials.



(d) Building design shall emphasize the pedestrian experience through the use of architectural features at the street level including awnings, canopies, stoops, porches, decorative light fixtures and material details to add scale and interest.

(e) Drive-through facilities shall have a roof or canopy cover which is integrated into the architectural design of the building or made of materials which complement the architectural design.

3) Exterior Facades, Materials and Color Palette

Intent:

To establish requirements for the exterior materials, finishes and overall palette which support the quality of architecture within the development.



(a) Buildings and site hardscape shall be constructed and maintained for permanence and longevity – durable, maintainable materials shall be used. Temporary buildings, metal or wood sheds, etc. shall not be permitted.

(b) Buildings shall be designed with quality materials on all sides and all facades shall be articulated with a variety of materials, glazing or details to add visual interest. Materials shall include a variety of colors and textures that complement each other.



(c) Buildings shall not have extensive areas of blank walls. Where windows or entrances are not possible, the architecture shall include varying walls, planes, materials, textures and colors to produce a better articulated and livelier building façade.

(d) Signage and lighting that are integrated into the design of the building are encouraged (see next section).

(e) Signage and lighting of corporate-branded buildings shall be designed to be integrated into the architecture of the building and the surrounding development, and not dominate the development.

D. Lighting and Signage

Lighting and signage for the Center should be appropriate for the uses planned and oriented as appropriate to the highway, the boulevard and pedestrian routes into and through the site. Lighting and signage shall be designed, sited and lit in ways that do not distract drivers, create safety concerns or cause undue impact on the adjacent park and residential neighborhoods.

1) Lighting

Intent:

There should be a coordinated approach to lighting throughout the site that is appropriate for the uses planned and designed to have minimal impact on adjacent uses. Pedestrian-oriented lighting will be required on all streets, trails and sidewalks and public gathering places within the Center.



(a) Lighting shall provide a well coordinated overall approach and incorporate both fixtures and lamps of similar types and colors throughout the development. A lighting plan and fixture specifications shall be included in the documents submitted to the City for approval.

(b) Architectural lighting, particularly decorative, accent lighting, is encouraged to highlight building character, massing and design features, particularly where the building meets the pedestrian realm.



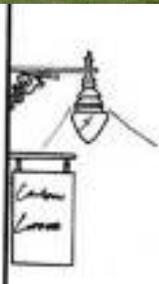
(c) Building entries with commercial or public uses shall be illuminated. Appropriate design approaches include washing the entry surfaces and doorways with light, allowing building interior light to glow through glazing, or using well designed and directed decorative lighting attached directly to the building.

(d) Buildings that front areas of high pedestrian activity, particularly along the wetland’s public edge, are encouraged to use identity lighting to enliven the space. Identity lighting includes accent lighting for the illumination of signs, awnings or graphics as well as interior lighting in storefront windows. Appropriate design approaches include decorative lighting fixtures attached directly to the building, focused spot lighting on signs, awnings, or window displays and interior decorative or identity lighted signs such as neon that are positioned to shine through glazing.



(e) Trails shall be provided with a minimum of lighting required for the safety of pedestrians, but it is generally assumed that park areas will not be used extensively after dark. Specific trail lighting is not required except where trails cross streets, access driveways, cross other trails or where pedestrian-oriented lighting should be provided for safe crossings.

(f) Street lights, standards and bases should be functional and, coordinated with the color palette, style and materials of the development, and be consistent throughout. Double-headed fixtures are recommended where both the street and pedestrian sidewalks are to be illuminated; otherwise, a single-headed fixture is acceptable. Fixtures and lamps shall be designed with a sharp cut-off angle and



shielded to direct light toward the ground to avoid shining unnecessary light upward to the sky.

- (g) Parking lots shall be lit with the same or similar style fixture as used for the street lights. Fixtures and lamps shall be designed for a wide-coverage area with a sharp cut-off to reduce both the number of fixtures required and glare of light spillage from parking areas.



- (h) All lighting fixtures, including spotlights, electrical reflectors and other means of illuminating signs, structures, landscaping, parking, loading and similar areas, shall be focused, directed and shielded to prevent horizontal glare, direct illumination of adjoining property or streets and upward light leakage.

- (i) Canopies shall not be lit, and lighting under covered drives or canopies shall not exceed the lighting levels appropriate for the functions and uses below; all fixtures shall be fully recessed, directed to reduce glare and screened to reduce visibility from the street. Fixtures shall be coordinated with the overall fixture types (style, materials, color and finishes), and lamps shall be of the same type and color as the lamps used in the Center’s standard fixtures.

- (j) Lighting within parking decks shall not exceed the lighting levels appropriate for parking areas; all fixtures shall be located to reduce visibility from the street and screened to prevent glare. Fixtures shall be coordinated with the overall fixture types (style, materials, color and finishes), and lamps shall be of the same type and color as the lamps used in the Center’s standard fixtures.

- (k) Security and service lighting shall be provided at all service areas and entries. Wherever possible, such lighting shall be controlled by a motion detector so that lighting is provided where and when it is needed for individual safety. Fixtures shall be building-mounted and designed to direct the light where needed and will not produce glare or light leakage. Fixtures shall be coordinated with the overall fixture types (style, materials, color and finishes), and lamps shall be of the same type and color as the lamps used in the Center’s standard fixtures.

- (l) No mercury vapor utility lights or other light fixtures with high-intensity discharge lamps or bulbs that are not designed to limit, control light direction or shield the light source from view of neighboring residential properties shall be permitted.

2) Signage

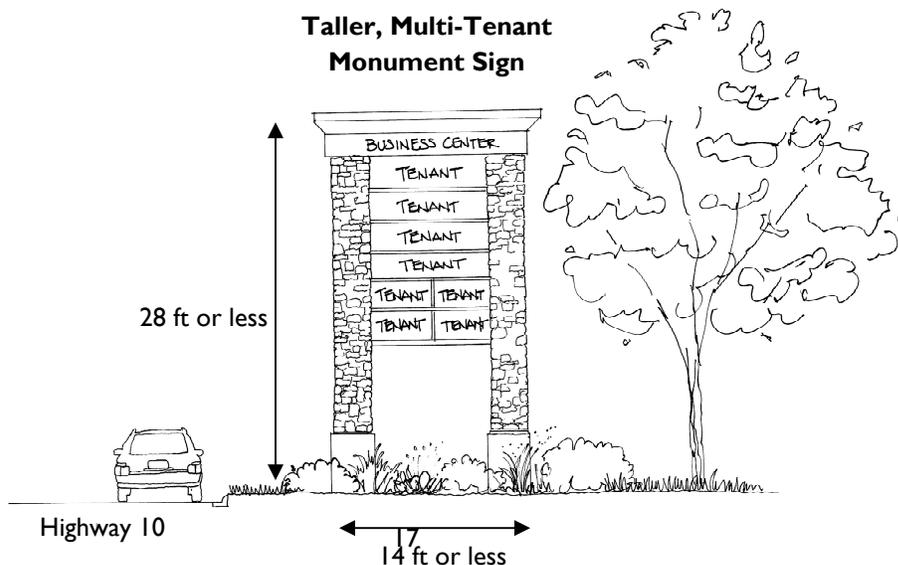
Intent:

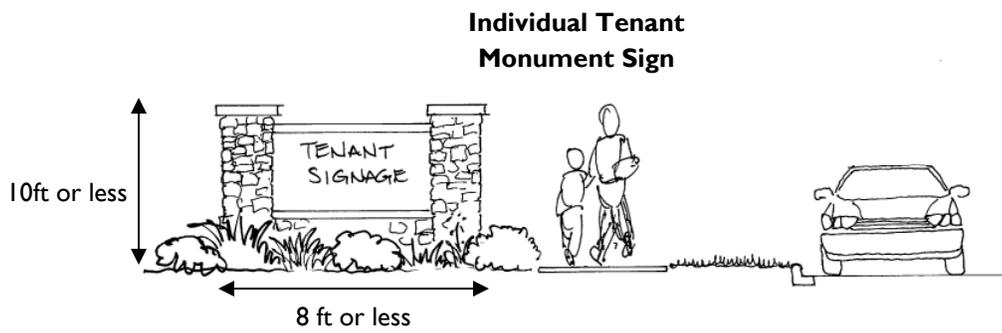
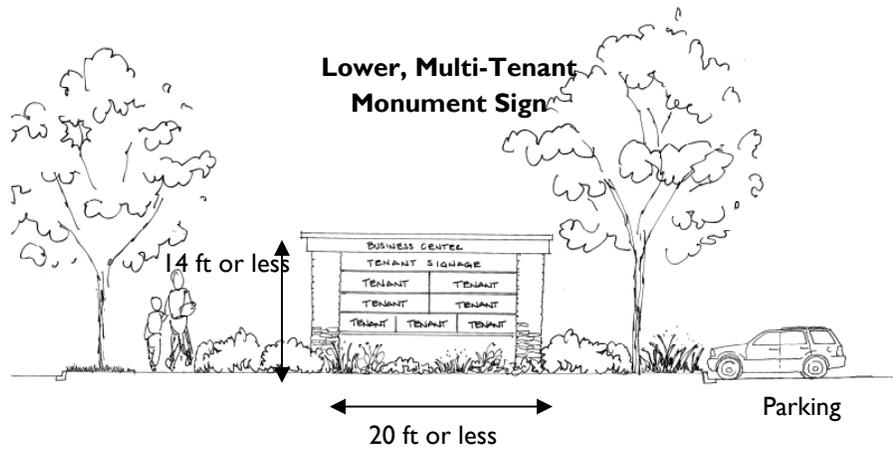
Signage is critical to both the character and the success of the Center, especially at night, so all signage (type, size, placement, materials, etc.) is subject to careful review by the City and must comply with the design guidelines as well as all zoning and signage ordinance requirements.

I.



- (a) All major site signage, as well as provisions for individual building signage and tenant signage, shall be included in the documents submitted to the City for overall site approval and in final approval submissions.
- (b) The Hanson Boulevard and Highway 10 corner is a prominent corner in the City and the Center shall locate an appropriate, welcoming identity element with signage, landscaping and lighting on the corner. This element may be integrated into the design of the corner building or parking ramp. Similar elements with signage, architectural elements, landscaping and lighting may be located at each street access or entrance to the site and shall be consistent with the primary corner feature.
- (c) The Center may locate appropriate monument identity signs on each street frontage; these monuments shall be of the same materials and color palette as the architecture of the Center, with the appearance of stacked native stone preferred. These signs may identify both the Center and individual tenants, as follows:
 - (i) Taller, multi-tenant monument sign located along the Highway 10 edge of the development (only one is allowed for the overall development, plus one such sign for a hotel); this sign shall be not more than 28 ft. in height and not more than 14 ft. in width and the actual back-lit sign area shall not exceed 180 sq. ft. per side in area. The sign shall be setback 50 ft. from the Highway 10 ROW;
 - (ii) Lower multi-tenant monument sign located on Hanson Boulevard (not more than two are allowed); this sign shall be less than 14 ft. in height and less than 20 ft. in width, and the actual back-lit sign area shall not exceed 140 sq. ft. in area per side;
 - (iii) Individual tenant signs (not more than one per lot is allowed); this sign shall be less than 10 ft. in height and less than 8 ft. in width, and the actual back-lit sign area shall not exceed 50 sq. ft. in area per side. These signs shall be located on the same lot as the tenant. However, the convenience store is allowed to locate its tenant sign along Hanson Boulevard.







- (d) Monument signs shall be spaced not less than 100 ft. apart; and shall be placed so that they do not impact safety by blocking motorist views of pedestrian crossings or oncoming traffic at intersections and driveways.
- (e) All monument signs shall be set back 10 ft. from any street ROW.
- (f) Exterior signage shall be fixed and stationary with no electronic, flashing, changing or moving elements. *(coordinate with City policy re: moving signs)*
- (g) Building signage and graphics shall be integral to the building architecture or used as a decorative, design element. More traditional awnings, hanging signs or architecturally integrated signs that are lit by traditional lighting fixtures (spots, sconces, etc.) are encouraged. Large areas of back-lit signage are discouraged and back-lit awning or canopy signs are not acceptable.
- (h) Interior signage, such as decorative neon, moving or other decorative sign types are desirable in limited size when displayed within storefront windows in the interiors of buildings.
- (i) Corporate chains are encouraged to customize their architecture to express their design “brand” within a design, context and material appropriate to the character of the development and should not rely solely on corporate signage. Corporate signage shall be high quality and well integrated into the design of the buildings in a way that does not detract from the overall design of the development.
- (j) The development shall provide both auto and pedestrian way-finding signs and other environmental graphics to supply directions to the pedestrian. This shall be done in a comprehensive and unified manner for the entire development. The proposed graphics should be included in the submission documents for final approvals.

[End of Design Guidelines]