



PLANNING COMMISSION AGENDA

Thursday, September 15, 2016

6:30 p.m.

Coon Rapids City Center

Council Chambers

Call to Order

Pledge of Allegiance

Roll Call

Adopt Agenda

Approval of Minutes from August 18, 2016

New Business

1. PC16-24, Lot Split, 10000 Cottonwood Street, Olsen
2. PC16-15, Land use amendment to change the land use from Office, General Commercial and Moderate Density Residential to High Density Residential
3. PC16-16, Zone change to change the zoning from Office, General Commercial and Moderate Density Residential to High Density Residential
4. PC 16-23, Site Plan approval for office building, 3360 Northdale Blvd., DRF Riverdale Dental
5. PC 16-22, Site plan for car dealership, 10202 Goldenrod Street, Carousel Motor Group

Other Business

Current Development

Adjourn



Planning Commission Regular

Meeting Date: 09/15/2016

SUBJECT: Approval of Minutes from August 18, 2016

Attachments

Draft Minutes August 18

COON RAPIDS PLANNING COMMISSION MEETING OF AUGUST 18, 2016

CALL TO ORDER

The regular agenda meeting of the Coon Rapids Planning Commission was called to order by Chair Schwartz at 6:30 p.m.

Members Present: Chair Wayne Schwartz, Commissioners Kathie Casey, Ray Knoblauch, Mary Schmolke, Zachary Stephenson and Julia Stevens.

Members Absent: Commissioner Denise Hosch.

Staff Present: Planner Scott Harlicker; and, Assistant City Attorney Doug Johnson.

PLEDGE OF ALLEGIANCE

Chair Schwartz led the Commission in the Pledge of Allegiance.

ADOPTION OF THE AGENDA

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO ADOPT THE AGENDA AS PRESENTED. THE MOTION PASSED UNANIMOUSLY.

APPROVAL OF THE JULY 21, 2016 REGULAR MINUTES

MOTION BY COMMISSIONER STEVENS, SECONDED BY COMMISSIONER CASEY, TO APPROVE THE PLANNING COMMISSION MINUTES OF THE REGULAR MEETING OF JULY 21, 2016, AS PRESENTED. THE MOTION PASSED UNANIMOUSLY.

OLD BUSINESS

1. PLANNING CASE 15-31 – CONDITIONAL USE PERMIT AND SITE PLAN FOR EXPANSION OF OUTDOOR STORAGE AREA – 9900 VALE STREET – MAYFLOWER PROPERTIES – PUBLIC HEARING
-

It was noted the applicant is requesting a conditional use permit and site plan approval for a 26,187 square foot expansion to the outdoor storage area of the existing self-storage facility. Staff discussed the request in detail with the Commission and recommended the public hearing be opened and continued to the September meeting. This delay would allow the applicant to complete a landscaping plan.

Commissioner Stevens asked if the applicant was proposing to place any additional fencing on the property. Planner Harlicker stated a fence could be requested along the storage area property line. He noted the property currently had a chain link fence, but this could be further screened.

Commissioner Casey questioned if the cash escrow was applicable. Planner Harlicker discussed the City's policy for sidewalk escrows. He reported this would be worked out by the September Planning Commission meeting.

Commissioner Stephenson appreciated the fact that a sidewalk would be placed along East River Road. He inquired what was currently being stored and what would be stored on the property. Planner Harlicker explained there were no limitations as to what could be stored on the site. He indicated construction material, sand and gravel have been stored on the property.

Commissioner Stephenson asked what would be stored on the property in the future. Planner Harlicker anticipated vehicles, RV's, boats, and other recreational equipment could be stored on the site.

Commissioner Stephenson questioned if boats would be allowed. Planner Harlicker reported this would be allowed within the storage area.

Chair Schwartz inquired if the truck language should be altered. Planner Harlicker requested the language remain as is noting the language was written to distinguish between private and commercial vehicles, while still allowing for RV's.

Commissioner Knoblauch was apt not to approve an expansion until the existing location was brought into compliance with the current requirements.

Commissioner Stephenson questioned what all would be stored at this site if the expansion were approved by the City of Coon Rapids. Sheldon Badzin, Mayflower Properties, described the items that were stored within self-storage units. He noted trucks, campers, RV's, and boats would be stored onsite. He explained he has been working to improve the appearance of this self-storage facility. He reported the trucks that were already on site were in good appearance.

Chair Schwartz asked if the applicant had thought of creating more indoor storage. Mr. Badzin stated this would not be pursued. However, additional buildings were being considered in the future, but did not make sense at this time.

Chair Schwartz understood the site had three ground storage units and noted several vehicles had flat tires or expired tabs when he visited the property. He inquired when these vehicles would be brought into compliance. Mr. Badzin commented he would be working to address these issues. It was noted as the property expands many of the items would have to be moved in order for the site to be better organized.

Commissioner Schmolke questioned if the vehicles onsite would be consolidated through the reorganization of the property. Mr. Badzin discussed the timeline and organization plans for the site. He anticipated much of the work would not begin until the spring of 2017.

Chair Schwartz feared the curb appeal from Coon Rapids Boulevard would be impacted if all of the cars were pushed to the rear of the site. He asked how the site would be screened. Mr. Badzin commented overstory trees were currently in place along this property line. He hoped the reorganization of the property would also assist in improving the overhead visibility of the site.

Commissioner Schmolke asked if the volume of the vehicles was a concern. She wondered if an outdoor vehicle limitation should be set in order to keep the site from becoming too congested. Planner Harlicker discussed how the property would be expanded and noted the most visible portion of the storage area would be turned into a stormwater pond. He reported the storage along the front of the building would also be moved. He believed fast growing evergreens could assist in screening the property.

Commissioner Casey was pleased that the applicant had a plan or vision for the property. She looked forward to seeing the property improved and reorganized through the proposed expansion.

Commissioner Stevens questioned if the inoperable and unregistered vehicles could be removed from the property prior to winter. Mr. Badzin stated he would begin addressing this concern.

Chair Schwartz did not want to see a larger eyesore created through the expansion. He feared the property would look like a vehicle salvage yard after the expansion was completed. He recommended additional screening be considered given the fact the overstory trees lost their leaves through the winter months. He stated he was leaning towards not supporting the plan as presented unless drastic changes were made.

Commissioner Knoblauch agreed with the Chair's comments noting the property was extremely chaotic. He feared that expanding the use would be an improper decision. He suggested the property owner consider building a pole barn for the vehicles onsite. He believed this would be a big improvement given the fact this was a highly visible property.

Councilmember Stephenson agreed the property was an eyesore and was a gateway to the community. However, he wanted to make sure the Commission understood restrictions were currently not in place and through the expansion, conditions could be placed on the property to enhance the site. He encouraged the Commission to provide staff with feedback to ensure all comments were addressed prior to the September meeting.

Chair Schwartz discussed the current code violations on the property and believed the site could be improved through proper code enforcement.

Commissioner Casey looked forward to reviewing a landscaping plan in September.

Mr. Badzin heard the Commission's concerns and discussed the expense of his proposed expansion. He understood the site was an eyesore and stated he was proposing to enhance, improve and reorganize the property.

Chair Schwartz opened the public hearing at 7:11 p.m.

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO CONTINUE PLANNING CASE 15-31 TO THE SEPTEMBER 15, 2016 PLANNING COMMISSION MEETING.

Councilmember Stephenson encouraged the applicant to create a well-designed and creative landscaping plan for the site.

THE MOTION PASSED UNANIMOUSLY.

NEW BUSINESS

2. PLANNING CASE 16-18 – LAND USE AMENDMENT – VANMAN ARCHITECTS –
10110 WOODCREST DRIVE (SPIRIT OF GRACE CHURCH) – PUBLIC HEARING

It was noted the applicant is requesting a land use amendment to change the land use designation of certain property from High Density Residential to Office. The applicant is also proposing a corresponding zone change to Office. Staff discussed the request in detail with the Commission and recommended approval.

Commissioner Casey asked if this was the only high density residential parcel that remained. Planner Harlicker reported this was the case.

Chair Schwartz opened and closed the public hearing at 7:22 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEVENS, SECONDED BY COMMISSIONER STEPHENSON, TO APPROVE PLANNING CASE 16-18, THE AMENDMENT TO THE CITY'S COMPREHENSIVE LAND USE PLAN TO CHANGE THE LAND USE DESIGNATION FROM HIGH DENSITY RESIDENTIAL TO OFFICE, BASED ON THE FOLLOWING:

1. THE PROPOSED COMPREHENSIVE LAND USE AMENDMENT IS COMPATIBLE WITH THE ADJACENT COMPREHENSIVE LAND USE DESIGNATIONS AND LAND USES.
2. THE PROPOSED COMPREHENSIVE LAND USE AMENDMENT WILL NOT HAVE AN ADVERSE IMPACT ON THE ADJACENT PROPERTIES.
3. THE PROPOSED COMPREHENSIVE LAND USE AMENDMENT IS SUPPORTIVE OF THE COMPREHENSIVE LAND USE PLAN LAND USE CHAPTER'S GOALS FOR THE CITY, INCLUDING MAINTAINING A COMPLETE AND BALANCED NEIGHBORHOOD BY INCLUDING A VARIETY OF SUPPORTING COMMERCIAL DEVELOPMENT AND MAINTAINING A CLIMATE THAT ENCOURAGES REDEVELOPMENT AND ONGOING BUSINESS ACTIVITY.

THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the September 20, 2016 City Council meeting.

3. PLANNING CASE 16-19 – ZONE CHANGE – VANMAN ARCHITECTS – 10110
WOODCREST DRIVE (SPIRIT OF GRACE CHURCH) – PUBLIC HEARING

It was noted the applicant is requesting a zone change to change the zoning of certain property from High Density Residential to Office. The applicant is also proposing a corresponding land use amendment to Office. Staff discussed the request in detail with the Commission and recommended approval.

Chair Schwartz opened and closed the public hearing at 7:22 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER SCHMOLKE, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 16-19, THE PROPOSED ZONE CHANGE BASED ON THE FOLLOWING FINDINGS:

1. THE PROPOSED REZONING TO OFFICE IS CONSISTENT WITH THE LAND USE DESIGNATION OF OFFICE.
2. THE PROPOSED REZONING IS COMPATIBLE WITH THE ADJACENT LAND USES AND ZONING.
3. THE TIMES AND CONDITIONS HAVE CHANGE SO THAT A REASONABLE USE OF THE PROPERTY CAN NOT BE MADE UNDER THE CURRENT ZONING.
4. THE PROPOSED ZONE CHANGE WOULD NOT HAVE AN ADVERSE IMPACT ON THE AREA.

THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the September 6, 2016 City Council meeting.

4. PLANNING CASE 16-20 – LAND USE AMENDMENT – LOCAL OIL COMPANY OF ANOKA – 2437, 2423 AND 2405 COON RAPIDS BOULEVARD – PUBLIC HEARING
-

It was noted the applicant is requesting a land use amendment to change the land use designation of three properties from Office to General Commercial. The applicant is also proposing a corresponding zone change to General Commercial. Staff discussed the request in detail with the Commission and recommended approval.

Gary Dean, Local Oil Company of Anoka, stated he purchased this property in 2009 with existing tenants. He reported he was looking to change the zoning to meet the needs of his tenants.

Chair Schwartz opened and closed the public hearing at 7:36 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER CASEY, SECONDED BY COMMISSIONER STEVENS, TO APPROVE PLANNING CASE 16-20, THE PROPOSED LAND USE AMENDMENT BASED ON THE FOLLOWING FINDINGS:

1. THE PROPOSED AMENDMENT IS CONSISTENT WITH THE COMPREHENSIVE PLAN IN THAT IT PROMOTES THE IMPROVED APPEARANCE AND FUNCTION OF COON RAPIDS BOULEVARD AND WILL PROMOTE THE REVITALIZATION OF AN UNDERUTILIZED SITE.
2. THE PROPOSED LAND USE AMENDMENT IS COMPATIBLE WITH THE SURROUNDING LAND USE DESIGNATIONS AND LAND USES.
3. THE PROPOSED LAND USE AMENDMENT WOULD NOT HAVE AN ADVERSE IMPACT ON THE AREA.
4. THE PARCEL FRONTS ON A COON RAPIDS BOULEVARD, WHICH IS A CLASS A ARTERIAL STREET.

THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the September 20, 2016 City Council meeting.

5. CASE 16-21 – ZONE CHANGE – LOCAL OIL COMPANY OF ANOKA – 2437, 2423 AND 2405 COON RAPIDS BOULEVARD – PUBLIC HEARING
-

It was noted the applicant is requesting a zone change to change the zoning of three properties from Office and High Density Residential to General Commercial. The applicant is also proposing a corresponding land use amendment to General Commercial. Staff discussed the request in detail with the Commission and recommended approval.

Chair Schwartz opened and closed the public hearing at 7:36 p.m., as no one wished to address the Planning Commission.

MOTION BY COMMISSIONER STEVENS, SECONDED BY COMMISSIONER SCHMOLKE, TO APPROVE PLANNING CASE 16-21, THE PROPOSED ZONE CHANGE BASED ON THE FOLLOWING FINDINGS:

1. THE PROPOSED REZONING TO GENERAL COMMERCIAL IS CONSISTENT WITH THE LAND USE DESIGNATION OF GENERAL COMMERCIAL.
2. THE PROPOSED REZONING IS COMPATIBLE WITH THE ADJACENT LAND USES AND ZONING.
3. THE TIMES AND CONDITIONS HAVE CHANGE SO THAT A REASONABLE USE OF THE PROPERTY CAN NOT BE MADE UNDER THE CURRENT ZONING.
4. THE PROPOSED ZONE CHANGE WOULD NOT HAVE AN ADVERSE IMPACT ON THE AREA.
5. THE PROPOSED REZONING IS CONSISTENT WITH THE COON RAPIDS BOULEVARD FRAMEWORK PLAN AND THE RIVER RAPIDS OVERLAY DISTRICT.

THE MOTION PASSED UNANIMOUSLY.

This is a recommendation to the City Council that will be considered at the September 6, 2016 City Council meeting.

OTHER BUSINESS

Planner Harlicker provided the Planning Commission with an update on current development taking place in the City of Coon Rapids. He then reviewed the items that would be addressed by the Commission in September.

ADJOURN

MOTION BY COMMISSIONER STEPHENSON, SECONDED BY COMMISSIONER STEVENS, TO ADJOURN THE MEETING AT 7:40 P.M. THE MOTION PASSED UNANIMOUSLY.

Recorded and Transcribed by,
Heidi Guenther
Planning Commission Recording Secretary



Planning Commission Regular

1.

Meeting Date: 09/15/2016

Subject: PC16-24, Lot Split, 10000 Cottonwood Street, Olsen

From: Scott Harlicker, Planner

INTRODUCTION

The applicant is requesting to subdivide a 24,000 square foot lot into two 12,000 square foot single family residential lots. The applicant is also requesting a variance to the lot depth requirement.

ACTIONS

Conduct of public hearing
 Recommendation by Planning Commission
 Decision City Council on: October 4, 2016

60 DAY RULE

The applicant submitted this application on: August 8

To comply with the requirements of Minnesota Statute, the City must approve or deny the application by: December 6

LOCATION

The property is located at 10000 Cottonwood Street.

	Existing Use	Comprehensive Plan	Zoning
Subject Property	Single Family Residence	Low Density Residential	Low Density Residential 2
North	Single Family Residence	Low Density Residential	Low Density Residential 2
South	Single Family Residence	Low Density Residential	Low Density Residential 2
East	Single Family Residence	Low Density Residential	Low Density Residential 2
West	Apartment parking lot	High Density Residential	High Density Residential

DISCUSSION

Project Description

The applicant is proposing to subdivide a 24,139 square foot (.55 acres) parcel into two lots. There is an existing house, attached garage and small shed on the property. The house fronts Cottonwood Street and also has frontage on 100th Avenue and Dogwood Street. The lot has 90 feet of frontage on Cottonwood Street, 90 feet of frontage on Dogwood Street and 268 feet on 100th Avenue. Both lots comply with the minimum lot width requirement of 80 feet and the minimum lot size of 10,800 square feet. However, both lots require a variance to the minimum lot depth requirement of 135 feet.

Parcel A is 12,018 square feet in size, has 90 feet of frontage on Dogwood Street and is 133.5 feet deep. The lot is vacant. Parcel B is 12,121 square in size, has 90 feet of frontage on Cottonwood Street and is 134.5 feet deep. Parcel B contains the existing house, attached garage and shed; the shed does not comply with the minimum five foot setback requirement. The shed will have to be moved so that it complies with the setback requirement.

Engineering Comments are attached.

Park Dedication

The original lot was platted as part of Minnesota Park in 1950, predating park dedication fees. Park dedication should be paid for the two new lots at this time.

Variance to Lot Depth Requirement

The proposed lot split requires a variance to the minimum lot depth requirement. Both lots are less than 135 feet deep and the code requires a minimum lot depth of 135 feet. This lot was platted as part of Minnesota Park in 1950, The east half of Dogwood Street was included in the plat. The lots were platted with the intention of being split into two lots when Dogwood Street was constructed. The city anticipated further subdivision of these lots when they installed services in Dogwood Street to the serve the west half of these lots. Three other lots have been resubdivided and all of them have required variances to the minimum lot depth requirement.

The Subdivision Regulations permit the granting of variances. The variances can be granted provided the following are met:

Criteria for Granting a Variance	
The intent of this Chapter is met	Yes - The granting of the variance will allow the subdivision of a parcel that is not out of character with other lots in the area.
The granting of the variance will not be detrimental to the public safety, health or welfare, or injurious to other property or improvements in the neighborhood in which the property is located	Yes - The granting of this variance will not be detrimental to the public or neighborhood.
The conditions upon which the request for a variance is based are unique to the property for which the variance is sought and are generally not applicable to other property	Yes - The conditions for the variance are unique and are not generally applicable to other lots in the City.
The literal interpretation of the provisions of this Chapter would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district	Yes - There are other lots that are located in the area that do not meet the lot depth requirement.
The special conditions and circumstances do not result from the actions of the applicant	Yes - The special conditions are a result of the original plat.
Because of the particular natural surroundings, shape, or topographical conditions of the specific property involved, unusual hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations were carried out	Yes - The lot was platted with the additional depth to allow for future subdivision. Without the variance the applicant will not be able to subdivide the lot and make use of the existing services, lot depth and dual street frontage.

RECOMMENDATION

In Planning Case 16-24, the Planning Commission recommend approval of the proposed lot split and the variance to minimum lot depth requirement with the following conditions:

1. All comments of the City Engineer must be addressed prior to releasing the lot split for recording.
2. Compliance with Title 11, Land Development Regulations.
3. Park dedication for the two lots be paid in the amount of \$2,000 per lot prior to releasing the lot split for recording.

Attachments

- Location Map
 - Survey
 - Engineering Comments
-

Location Map



Proposed Lot Split Survey For:

JEFF OLSEN

Proposed Legal Description.

Parcel A, Area = 12,018 sq ft±

The West 133.5 of Lot 7, Block 1, Minnesota Park, Anoka County, Minnesota.
Subject to a Street and Utility Easement over, under & across the Southerly 25 feet per document No. 610978.
Subject to other easements of record, if any.

Parcel B, Area = 12,121 sq ft±

That part of Lot 7, Block 1, Minnesota Park, Anoka County, Minnesota, which lies East of the West 133.5 feet thereof.
Subject to a street and utility easement over, under & across the Southerly 25 feet per document No. 610978.
Subject to other easements of record, if any.

Proposed Drainage & Utility Easements

Parcel A:
Easement for drainage & utility purposes over, under and across the west 10.00 feet, the south 10.00 feet, the north 5.00 feet and the east 5.00 feet of the following described parcel:

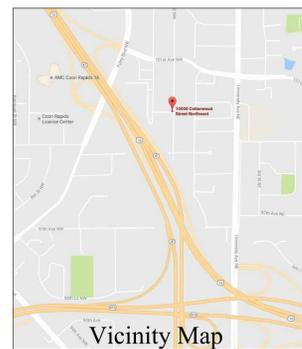
The West 133.5 of Lot 7, Block 1, Minnesota Park, Anoka County, Minnesota.
Subject to a Street and Utility Easement over, under & across the Southerly 25 feet per document No. 610978.
Subject to other easements of record, if any.

Parcel B:
Easement for drainage & utility purposes over, under, and across the east 10.00 feet, the south 10.00 feet, the west 5.00 feet and the north 5.00 feet of the following described parcel:

That part of Lot 7, Block 1, Minnesota Park, Anoka County, Minnesota, which lies East of the West 133.5 feet thereof.
Subject to a street and utility easement over, under & across the Southerly 25 feet per document No. 610978.
Subject to other easements of record, if any.

Existing Legal Description.
Lot 7, Block 1, MINNESOTA PARK,
Subject to a street and utility easement, over under and across the southerly 25 feet thereof per doc. no. 610978
Anoka County, Minnesota

LOW DENSITY RESIDENTIAL (LDR-2)

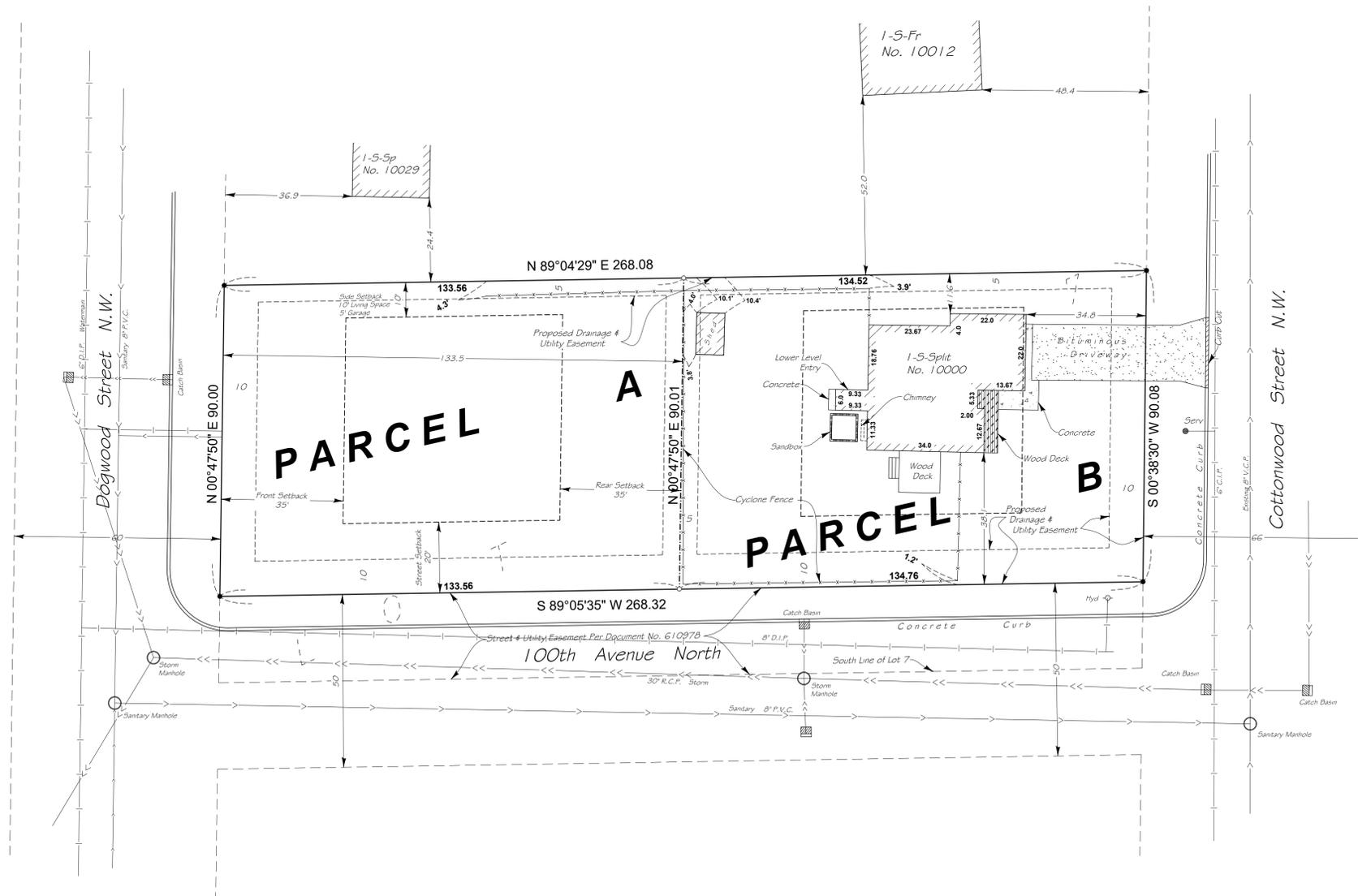


Developer:
Jeff Olsen
10000 Cottonwood Street N.W.
Coon Rapids, MN
Phone: (612)655-8302

Property Zoned Low Density Residential (LDR-2)

Building Setbacks
Front 35'
Interior Side 10' (5' garage)
Corner Side 20'
Rear 35'

Note: Utilities Shown per Maps Provided



INVOICE NO. 85451
F.B.NO. 1043-74
SCALE: 1" = 20'

- Denotes Found Iron Monument
- Denotes Iron Monument
- Denotes Wood Hub Set for excavation only
- Denotes Existing Contours
- - - - Denotes Proposed Contours
- 000.0 Denotes Existing Elevation
- 000.0 Denotes Proposed Elevation
- Denotes Surface Drainage



The only easements shown are from plats of record or information provided by client.

I certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed land Surveyor under the laws of the State of Minnesota.
Surveyed this 2nd day of August 2016.

Rev	Drawn By <i>S. Munson</i>
	File Name mp-7-1fb104374inv85451.dwg

Signed *Gregory P. Prach*
Gregory P. Prach, Minn. Reg. No. 24992



TO: Scott Harlicker, Planner

FROM: Alex Wiebe, Civil Engineer

SUBJECT: 10000 Cottonwood Street
Proposed Lot Split

DATE: August 16, 2016

The following comments are based on the Engineering Division's review of the proposed lot split for the property to be constructed at 10000 Cottonwood Street submitted to the City of Coon Rapids in August of 2016.

Proposed Lot Split Survey

- The address for the proposed lot split will be 10013 Dogwood Street
- New lot will require grading to verify proposed drainage



Planning Commission Regular

2.

Meeting Date: 09/15/2016

Subject: PC16-15, Land use amendment to change the land use from Office, General Commercial and Moderate Density Residential to High Density Residential

From: Scott Harlicker, Planner

INTRODUCTION

The applicant is requesting approval of an amendment to the City's Comprehensive Land Use Plan to change the land use designation of four parcels from Office, General Commercial and Moderate Density Residential to High Density Residential. The applicant is also requesting a corresponding zone change.

ACTIONS

Conduct of public hearing
 Recommendation by Planning Commission
 Decision City Council on: October 18

60 DAY RULE

The applicant submitted this application on: August 8

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60-Day review period to: December 6, 2016

LOCATION

The parcels are located west of Pheasant Run Drive on the north side of Coon Rapids Boulevard. Three of the parcels front Coon Rapids Boulevard and one fronts on 115th Lane.

	Existing Use	Comprehensive Plan	Zoning
Subject Property	Floral/greenhouse, Single family home, and vacant	Office,general Commercial and Moderate Density Residential	Office, General Commercial, Moderate Density Residential and River Rapids Overlay District
North	Townhomes and single family homes	Moderate Density Residential and Low Density Residential	Moderate Density Residential
South	Coon Rapids Boulevard	N/A	N/A
East	U-Haul	General Commercial	General Commercial
West	Single family residence and townhome	Office and Moderate Density Residential	Office and Moderate Density Residential

DISCUSSION

Background

The Pederson Floral property is 2.3 acres with frontage on Coon Rapids Boulevard. They have a land use designation of General Commercial, are zoned General Commercial and are located within the River Rapids Overlay District. A second parcel has frontage on 115th lane, is undeveloped and is 13,523 square feet in size. It has a land use designation and zoning of Moderate Density Residential. The other lot also fronts on Coon Rapids Boulevard, is 16,265 square feet and has a land use designation and zoning of Office.

Pederson Floral Property

As part of the 2009 Comprehensive Land Use Plan update the land use designation of the Pederson Floral property was changed from General Commercial to High Density Residential. In 2010, in response to the new land use designation, the City initiated a zone change from General Commercial to High Density Residential so that the zoning was consistent with the land use designation. In response to the property owner's concern that the change in zoning would make his business non-conforming, the zone change to High Density Residential was denied. In February 2011 the the City initiated a change in the land use designation and zoning from High Density Residential to Office. The proposed zone change was not introduced by the City Council.

In March 2011 the City initiated a change in the land use designation from High Density Residential to General Commercial. The property was zoned General Commercial so no corresponding zone change was required. The land use changed was approved by Council.

In April 2013 MWF Properties applied for land use amendment for the Pederson Floral property and the vacant lot behind it. The Planning Commission recommended approval of the proposed change. However, they withdrew their request prior to the application being considered by the Council.

In April 2015 MWF Properties again applied for land use amendment for the Pederson Floral property and the vacant lot behind it. The Planning Commission recommended approval of the proposed change. However, they withdrew they withdrew their request following the introduction of the ordinance by the Council.

Property Fronting 115th Lane

The lot fronting on 115th Lane was platted as a single family lot in 1978 as part of O.L. Pederson Addition. The lot has been zoned Moderate Density Residential since 1980. The adjacent lot to the west was developed with a three unit townhome in 1996. The subject property was not included in that site plan and has never been developed. Because of its small size it would be difficult to develop in accordance with Moderate Density Residential standards.

3541 Coon Rapids Boulevard

This parcel is located west of the Pederson Floral property. It is a single family home. The

property has a land use designation and zoning of Office and is located within the River Rapids Overlay District. Because of its small size, the parcel could not be redeveloped on its own. The lot has frontage and access from Coon Rapids Boulevard.

Analysis

Access

According to the Coon Rapids Boulevard Corridor Plan, the median opening on Coon Rapids Boulevard in front of the site will eventually be closed, thus limiting access to the site to right-in/right-out only. This type of access will work for residential access but makes commercial redevelopment difficult.

Lot size

The size of the parcel limits the economic feasibility for commercial redevelopment of the site. The depth of the site also creates design issues for commercial redevelopment, such as the parking and setback requirements, which favor lots with greater depth. The lot's dimensions better suite high density residential development standards.

Compatibility with Adjacent Residential Land Uses

A moderate density townhouse development and a single family home abuts the site to the north. High Density Residential development provides a better buffer to Coon Rapids Boulevard and is more compatible than general commercial land uses.

Compatibility with Coon Rapids Boulevard Framework Plan

Framework Plan identifies infill housing as a "Development Principle". While the PORTs were identified as appropriate for the highest densities, moderate to high density residential development is appropriate for the areas between the PORTs. Furthermore, because of the corridor's transit access, the Framework Plan includes a policy that calls for moderate to high density housing in the areas between the PORTs.

Alignment with Comprehensive Land Use Plan

The Housing chapter of the City's Comprehensive Land Use Plan identifies a variety of housing goals for the City, including allowing for a variety of housing types and designs to allow people a housing choice. The proposed amendment would provide additional acreage for high density housing and therefore additional opportunities for apartments. Notable objectives in the Plan include addressing blight and blighting influences, the proposed amendment would create an opportunity to redevelop the vacant Pederson Floral site.

The Land Use Chapter also identifies a goal to improve the the appearance and function of Coon Rapids Boulevard ensuring that it redevelops with a variety of housing types. The proposed amendment supports that goal by eliminating underutilized land and obsolete land uses, and increases the opportunity to increase the number of housing units.

RECOMMENDATION

In Planning Case 16-15, the Planning Commission recommend approval of the amendment to the City's Comprehensive Land Use Plan to change the land use designation from Office, General Commercial and Moderate Density Residential to High Density Residential based on the following:

1. The proposed comprehensive land use amendment is compatible with the adjacent comprehensive land use designations and land uses.
2. The proposed comprehensive land use amendment will not have an adverse impact on the adjacent properties.
3. The proposed comprehensive land use amendment is consistent with the Coon Rapids Boulevard framework Plan.
4. The proposed comprehensive land use amendment is supportive of the Comprehensive Land Use Plan Land Use Chapter and Housing Chapter 's goals for the City, including eliminating under utilized and obsolete land uses, and creating and maintaining a high quality housing environment, and a variety of housing options.

Attachments

Location Map

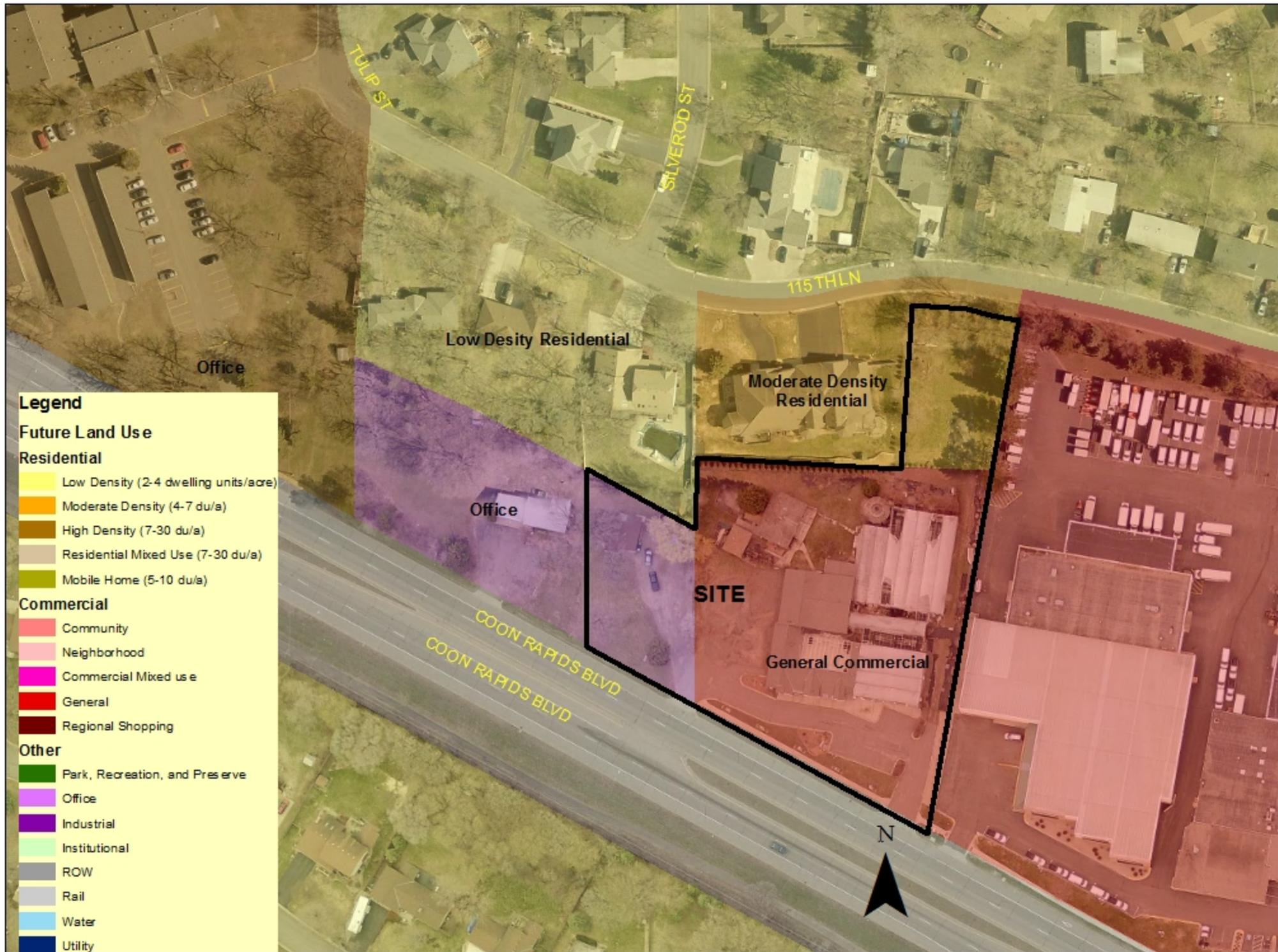
Land Use Map

Applicant's Narrative

Location Map



Land Use Map



Zoning Change Application

3541, 3531 and 3525 Coon Rapids Blvd NW; Property ID # 17-31-24-12-0016 (115th Lane NW)

This application seeks to change the zoning classification of the above addresses from General Commercial, Office and Moderate Density Residential to High Density Residential. The majority of the site is currently the location of a vacant plant nursery. The 3541 address is the location of a realtor's office. Property 17-31-24-12-0016 is vacant. Most of the site is not being used for any commercial purposes and is considered blighted by city officials. This application seeks to illustrate how the properties in question would be better suited with a high density residential classification. As the attached map shows, the site is surrounded by mostly residential zoning with few commercial spaces to suggest significant interest in the property being used in such a way. The nearby strip mall at 3355 Coon Rapids Blvd NW is largely vacant, reiterating that the area is not currently of significant interest to commercial retail developers. Additionally, the City of Coon Rapids Future Land Use Map specifies the 3531 and 3525 addresses of the site in question as high density residential. For these reasons, we believe that the current zoning classification is no longer appropriate for the site.

- Current land use designation of property as per Coon Rapids Comprehensive Plan: High Density Residential (3531 & 3525); Office (3541); Moderate Density Residential (vacant lot facing 115th Lane NW)
- Current zoning classification of property: General commercial (3531 & 3525); Office (3541); Moderate Density Residential (vacant lot facing 115th Lane NW)
- Existing land use on subject property: Vacant, former plant nursery (3531 & 3525); realtor office (3541)
- Existing land use on properties within 350 feet: U-Haul Supercenter, vacuum cleaner retail, single family homes and townhomes

This rezoning request is consistent with the goals described in the City of Coon Rapids Comprehensive Plan for multiple reasons. However, this application also seeks to adjust the future land use designation of two of the four properties stated above. In the Future Land Use Map (Map L-5), two of the properties in question are classified as High Density Residential. The westernmost is designated Office while the northern property facing 115th Lane NW is moderate density residential. We thus seek to amend the comprehensive plan so that all four of the properties in question are designated as high density residential for future use.

We believe the language of the written chapters of the Comprehensive Plan support the desired amendment to the Plan’s future land use designation as well as rezoning. On page 2-12, with regards to Land Use, Goal #6 states that the city desires to “improve the appearance and function of Coon Rapids Blvd, ensuring that it gradually redevelops with a variety of housing types, supporting commercial uses and urban design amenities.” Three objectives of this goal are listed as 6-1: “To curb the spread of blighting characteristics along Coon Rapids Boulevard and eliminate underutilized land and obsolete land uses. Objective 6-2 states: “increase the number of housing units and bolster the market for neighborhood commercial development along Coon Rapids Boulevard.” We believe that a rezoning of the property to high density residential would work towards accomplishing these objectives. Currently the site is underutilized as a closed plant nursery and nearby large lots include a U-Haul Supercenter and a largely vacant strip mall. With a high density residential development, the market potential of this stretch of Coon Rapids Boulevard would be bolstered. The physical presence of a multi-family building would work to create more density and aesthetic quality along an otherwise bleak stretch of road. This also works to accomplish Goal 7 of chapter 2, which states that the city desires to “eliminate blighting influences throughout the City and encourage redevelopment of underutilized land” (p 2-13). This site is underutilized and the fact that it is vacant, in addition to the unwelcoming atmosphere of the adjacent U-Haul Supercenter, it is currently a blighting influence along Coon Rapids Boulevard.

Chapter 4 of the Comprehensive Plan discusses the City’s goals in terms of future housing development. In 2006, Maxfield Research Inc. conducted a market study for the city in relation to housing potential development between 2006 and 2020. An excerpt from their summary concludes that “the City of Coon Rapids is almost entirely built-out. With aging housing stock and the continued growth occurring in the North Metro Area, Coon Rapids is in a position to capture a portion of that growth through redevelopment that could provide housing products currently desired by the market; similar to what is being offered in the higher growth communities of Andover and Blaine” (p 4-14). Rezoning the site as high density residential would be in accordance with the findings of Maxfield’s research. Goals 1 and 2 of the housing chapter align with this as well. Goal 1 explains: “a high-quality living environment, the preservation of stable residential neighborhoods, and, where necessary, the upgrading of the existing housing stock in the City” (4-17) and Goal 2 explains the desire for “a variety of housing types and designs to allow all people a housing choice” (4-18). These excerpts from the City’s Comprehensive Plan support the notion that rezoning this property as High Density Residential would indeed work towards accomplishing the goals Coon Rapids has established for its future development.

The future redevelopment of Coon Rapids Boulevard’s right of way will be impactful upon the use of the subject properties. As it currently exists, the property can be accessed from both eastbound and westbound directions. However, redevelopment plans include removal of the existing road and replacing it to include a central median island spanning the entire length of the site. This will create a “right in, right out” condition wherein the property will only be directly accessible to westbound traffic on Coon Rapids Boulevard. This limited access further decreases the desirability of the site for retail commercial development. This in addition to the previously stated limitations strengthens the case for rezoning the site to high density residential so that it can achieve a higher usage potential.

If our requests to amend Map L-5’s future land use designations as well as rezone the properties as high density residential are granted, we would propose a 98 unit market rate multifamily housing development. In reference to the attached schematic site plan, the wing of the building fronting Coon Rapids Boulevard would be 5 stories tall, while the rear wing facing adjacent single family properties would be 4 stories. The first floor of that rear wing would feature at grade covered parking and the entire building footprint would have 1 level of below grade parking. We also propose 23 stalls of on grade exterior parking by the building’s entrance on the west side. These calculated parking figures exceed the required minimum as established by Coon Rapids standards for high density residential.

In our schematic proposal, our goals towards treatment of the site are twofold: we desire to create more density along Coon Rapids Boulevard while also respecting the adjacent single family homes. We accomplish this by respecting the 50’ building setbacks facing all residential properties. In addition, our site plan features a large open space in the area between the two wings of the building. We propose creating a buffer between this development and adjacent homes with trees and vegetation. We believe the attached site plan accomplishes our goals of creating a much needed street front presence along Coon Rapids Boulevard while also respecting the existing neighborhood fabric to the rear of the site.

The attached unit matrix and layout establishes how this multifamily building will begin to work. We propose a mix of studios, 1 bedroom, 2 bedroom and 3 bedroom units. The majority of units will either be 1 bedroom or 2 bedrooms. As we advance the project, a market study will be conducted to identify if and how the unit ratios should be adjusted. Main access to the building will occur at the main entrance located at the western edge by the surface parking lot. This parking lot will serve as visitor parking for the building. Ramp access to the below grade parking level is also located at the rear of the surface lot. Secondary access to the site is provided by a driveway connecting to 115th Lane NW. This driveway provides

access to only the covered at grade parking. A storm water retention pond is also located along this driveway to deal with the site’s storm water run-off. Pedestrian pathways are provided across the site to connect all of the entrances as well as outdoor amenity space.

This stretch of Coon Rapids Boulevard is in transition. New investments in buildings and landscaping are going to reimagine the corridor. The attached elevation seeks to create an aesthetically significant location along this stretch. With other nearby properties classified as future high density residential in the comprehensive plan, we believe a new aesthetic is beginning to establish a refreshed identity for this part of Coon Rapids. We propose a material palette that is both contemporary and dignified. Slate grey brick and corrugated steel paneling are accented by areas of the warmer cedar cladding. It is important to create a dynamic and balanced façade with the way in which the materials accents each other. Between the front of the building and Coon Rapids Boulevard, we are proposing a vegetative buffer that softens the edge of the large thoroughfare and works to create a more walkable environment. These types of conditions all work together to accomplish the goals established by the city in removing blighted, underutilized land and refreshing it with a development that both residents of the building and residents of the city can take pride in.

A final consideration of our proposal for this site is that we require a variance for the setbacks bordering Coon Rapids Boulevard and the adjacent commercial zoning where U-Haul is located. The current setback requirement is 50 feet, but we would request a variance to change that to 25 feet. This utilizes the site most efficiently in terms of unit count, density, and access. As stated above, this proposal follows the setbacks for adjacent single family homes: the variance request only pertains to Coon Rapids Boulevard and the adjacent commercial space. A denser and more walkable Coon Rapids Boulevard will create a new identity that can work with other future developments to redefine and refresh this stretch of road.



Planning Commission Regular

3.

Meeting Date: 09/15/2016

Subject: PC16-16, Zone change to change the zoning from Office, General Commercial and Moderate Density Residential to High Density Residential

From: Scott Harlicker, Planner

INTRODUCTION

The applicant is requesting approval of a rezoning to change the zoning of four parcels from Office, General Commercial and Moderate Density Residential to High Density Residential.

ACTIONS

Conduct a public hearing
 Recommendation by Planning Commission
 Introduction by City Council on: October 4

60 DAY RULE

The applicant submitted this application on: August 8

To comply with the requirements of Minnesota Statute §15.99, the City extended the 60-Day review period to: December 6, 2016

LOCATION

The parcels are located west of Pheasant Run Drive on the north side of Coon Rapids Boulevard. Three of the parcels front Coon Rapids Boulevard and one fronts on 115th Lane.

	Existing Use	Comprehensive Plan	Zoning
Subject Property	Floral/greenhouse, Single family home and vacant	Office, general Commercial and Moderate Density Residential	Office, General Commercial, Moderate Density Residential and River Rapids Overlay District
North	Townhomes and single family homes	Moderate Density Residential and Low Density Residential	Moderate Density Residential
South	Coon Rapids Boulevard	N/A	N/A
East	U-Haul	General Commercial	General Commercial
West	Townhome and single family residence	Office and Moderate Density Residential	Office and Moderate Density Residential

DISCUSSION

Background

The Pederson Floral property is 2.3 acres with frontage on Coon Rapids Boulevard. They have a land use designation of General Commercial, are zoned General Commercial and are located within the River Rapids Overlay District. A second parcel has frontage on 115th lane, is undeveloped and is 13,523 square feet in size. It has a land use designation and zoning of Moderate Density Residential. The other lot also fronts on Coon Rapids Boulevard, is 16,265 square feet and has a land use designation and zoning of Office.

Pederson Floral Property

As part of the 2009 Comprehensive Land Use Plan update the land use designation of the Pederson Floral property was changed from General Commercial to High Density Residential. In 2010, in response to the new land use designation, the City initiated a zone change from General Commercial to High Density Residential so that the zoning was consistent with the land use designation. In response to the property owner's concern that the change in zoning would make his business non-conforming, the zone change to High Density Residential was denied. In February 2011 the the City initiated a change in the land use designation and zoning from High Density Residential to Office. The proposed zone change was not introduced by the City Council.

In March 2011 the City initiated a change in the land use designation from High Density Residential to General Commercial. The property was zoned General Commercial so no corresponding zone change was required. The land use changed was approved by Council.

In April 2013 MWF Properties applied for zone change land use amendment for the Pederson Floral property and the vacant lot behind it. The Planning Commission recommended approval of the proposed change. However, they withdrew their request prior to the application being considered by the Council.

In April 2015 MWF Properties again applied for zone change and land use amendment for the Pederson Floral property and the vacant lot behind it. The Planning Commission recommended approval of the proposed change. However, they withdrew they withdrew their request following the introduction of the ordinance by the Council.

Property Fronting 115th Lane

The lot fronting on 115th Lane was platted as a single family lot in 1978 as part of O.L. Pederson Addition. The lot has been zoned Moderate Density Residential since 1980. The adjacent lot to the west was developed with a three unit townhome in 1996. The subject property was not included in that site plan and has never been developed. Because of its small size it would be difficult to develop in accordance with Moderate Density Residential standards.

3541 Coon Rapids Boulevard

This parcel is located west of the Pederson Floral property. It is a single family home. The

property has a land use designation and zoning of Office and is located within the River Rapids Overlay District. Because of its small size, the parcel could not be redeveloped on its own. The lot has frontage and access from Coon Rapids Boulevard.

Analysis

The intent of the High Density Residential district is to provide housing at high densities convenient to shopping, public transit and recreation. Areas are located adjacent to collector or arterial streets. This site meets all of the criteria listed above. The site is located along an arterial street, with access to transit, shopping and recreation. It would allow the development of the site at multi-family density that can take advantage of the location along Coon Rapids Boulevard. A list of uses allowed in the High Density Residential district is attached.

Access

According to the Coon Rapids Boulevard Corridor Plan, the median opening on Coon Rapids Boulevard in front of the site will eventually be closed, thus limiting access to the site to right-in/right-out only. This type of access will work for residential access but makes commercial redevelopment difficult.

Lot size

The size of the parcel limits the economic feasibility for commercial redevelopment of the site. The depth of the site also creates design issues for commercial redevelopment, such as the parking and setback requirements, which favor lots with greater depth. The lot's dimensions better suite high density residential development standards.

Compatibility with Adjacent Residential Land Uses

A moderate density townhouse development and a single family home abuts the site to the north. High Density Residential development provides a better buffer to Coon Rapids Boulevard and is more compatible than general commercial land uses.

Compatibility with Coon Rapids Boulevard Framework Plan

Framework Plan identifies infill housing as a "Development Principle". While the PORTs were identified as appropriate for the highest densities, moderate to high density residential development is appropriate for the areas between the PORTs. Furthermore, because of the corridor's transit access, the Framework Plan includes a policy that calls for moderate to high density housing in the areas between the PORTs.

Alignment with Comprehensive Land Use Plan

The Housing chapter of the City's Comprehensive Land Use Plan identifies a variety of housing goals for the City, including allowing for a variety of housing types and designs to allow people a housing choice. The proposed zone change would increase additional acreage for high density housing and therefore additional opportunities for apartments. Notable objectives in the Plan include addressing blight and blighting influences, the proposed amendment would create an

opportunity to redevelop the vacant Pederson Floral site.

The Land Use Chapter also identifies a goal to improve the the appearance and function of Coon Rapids Boulevard ensuring that it redevelops with a variety of housing types. The proposed zone change supports that goal by eliminating underutilized land and obsolete land uses, and increases the opportunity to increase the number of housing units.

The Planning Commission should also give consideration to the evaluation criteria found in Section 11- 304 when making their recommendation on rezoning requests.

Section 11-304.10 Criteria	Comments
Effect of public health, safety, order, convenience, and general welfare in the area.	OK - The proposed zoning will not adversely impact area.
Effect on present and potential surrounding land uses.	OK – The proposed zoning will not adversely impact the surrounding land uses.
Conformance with the Comprehensive Land Use Plan.	OK – Assuming the proposed land use amendment is approved, the proposed zone change will be consistent with the City’s Comprehensive Land Use Plan. The proposed land use designation is General Commercial
Conformance with any applicable development district.	OK – Improvements and uses of the site will have to be in conformance with the River Rapids Overlay District.

RECOMMENDATION

In Planning Case 16-16, the Planning Commission recommend approval of the proposed zone change to High Density Residential based on the following:

1. The proposed rezoning to High Density Residential is consistent with the land use designation of High Density Residential
2. The proposed rezoning is compatible with the adjacent land uses and zoning.
3. The times and conditions have change so that a reasonable use of the property can not be made under the current zoning.
4. The proposed zone change would not have an adverse impact on the area.
5. The proposed rezoning is consistent with the Coon Rapids Boulevard Framework Plan and the River Rapids Overlay District.

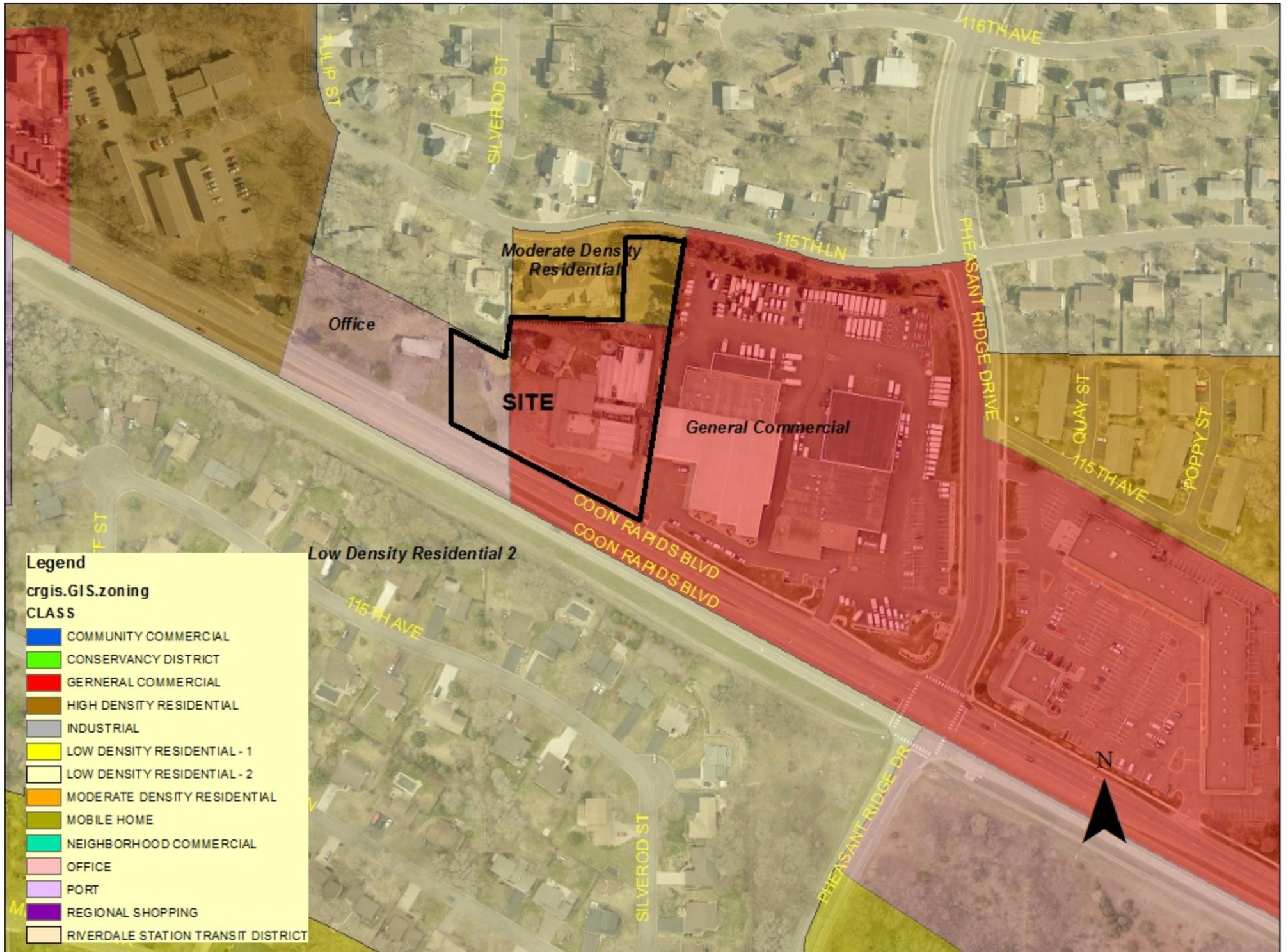
Attachments

- Location Map
 - Zoning map
 - Applicant's Narrative
 - High Density Residential use
-

Location Map



Zoning Map



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A final consideration of our proposal for this site is that we require a variance for the setbacks bordering Coon Rapids Boulevard and the adjacent commercial zoning where U-Haul is located. The current setback requirement is 50 feet, but we would request a variance to change that to 25 feet. This utilizes the site most efficiently in terms of unit count, density, and access. As stated above, this proposal follows the setbacks for adjacent single family homes: the variance request only pertains to Coon Rapids Boulevard and the adjacent commercial space. A denser and more walkable Coon Rapids Boulevard will create a new identity that can work with other future developments to redefine and refresh this stretch of road.

Allowed Uses In High Density Residential (HDR)

PRINCIPAL USES					
DWELLINGS					
	LDR 1	LDR 2	MD R	HD R	MH
Single family detached dwelling	P	P	NP	NP	NP
Two-family dwellings approved by the City prior to January 1, 2005.	P	P	P	NP	NP
Townhouses	NP	NP	P	NP	NP
Multiple family dwellings	NP	NP	P	P	NP
Mobile homes	NP	NP	NP	NP	P
Single-family dwellings when combined with permitted and/or other attached dwellings uses to achieve a density of at least four dwelling units per acre.	NP	NP	P	NP	NP
Attached dwelling structures not described as permitted uses, seven dwelling units per acre or less.	NP	NP	C	NP	NP
CONGREGATE LIVING					
	LDR 1	LDR 2	MD R	HD R	MH
A state licensed residential facility or a housing with services establishment registered under chapter 144D serving six or fewer persons, a licensed day care facility serving 12 or fewer persons, and a group family day care facility licensed under Minnesota Rules, parts 9502.0315 to 9502.0445 to serve 14 or fewer children	P	P	P	P	NP
A state licensed residential facility serving from 7 through 16 persons or a licensed day care facility serving from 13 through 16 persons.	C	C	C	P	NP
Nursing homes and assisted living	C	C	C	C	NP
Boarding Homes	NP	NP	NP	P	NP
INSTITUTIONAL					
	LDR 1	LDR 2	MD R	HD R	MH
Cemeteries and their accessory structures	C	C	C	C	NP
Governmental buildings and facilities	C	C	C	C	C
Governmental offices	C	C	C	C	C
Places of worship	C	C	C	C	NP
Public parks, their incidental structures and uses	P	P	P	P	P
Schools and colleges	C	C	C	C	NP
State licensed community correctional facilities	C	C	C	C	NP
Public buildings and major utility structures	C	C	C	C	C

Hospitals	C	C	C	C	NP
Places of assembly	C	C	C	C	NP
COMMERCIAL	LDR 1	LDR 2	MD R	HD R	MH
Marinas and related uses	C	C	C	C	NP
Mining as regulated under Section 11-1103	C	C	C	C	NP
Recreational facilities such as country clubs, community recreation buildings, golf courses, archery ranges, or trapshooting ranges.	C	C	C	C	NP
Retail shopping uses located within a multiple-dwelling building located within an apartment complex containing at least 100 dwelling units, provided that such uses are clearly incidental to the principal use of the building.	NP	NP	NP	C	NP
Agricultural, except feedlots, on lots greater than five acres in size	P	P	NP	NP	NP



Planning Commission Regular

4.

Meeting Date: 09/15/2016

Subject: PC 16-23, Site Plan approval for office building, 3360 Northdale Blvd., DRF Riverdale Dental

From: Scott Harlicker, Planner

INTRODUCTION

The applicant is requesting site plan approval for a 6,600 square foot office building with a 40 space parking lot.

ACTIONS

- Conduct a public hearing
- Decision by Planning Commission
- Appeal to City Council Available

60 DAY RULE

The applicant submitted this application on: August 8

To comply with the requirements of Minnesota Statute §15.99, the City must approve or deny the application by: October 7

LOCATION

The property is located at 3360 Northdale Boulevard.

	Existing Use	Comprehensive Plan	Zoning
Subject Property	Vacant	Office	Office
North	Townhomes	Moderate Density Residential	Moderate Density Residential
South	Car dealership	General Commercial	General Commercial
East	Office building	Office	Office
West	Bank	Office	Office

DISCUSSION

The applicant is proposing to construct a 6,600 square foot one story dental office building with 40 parking spaces. The site is 1.36 acres in size and is undeveloped. There is frontage on both Northdale Boulevard and 129th Avenue, with access from both streets.

Site Plan Criteria

Required Finding - Chapter 11-325 - General Requirements for All Site Plans	Staff Analysis and Comments
(1) Be compatible with surrounding land uses	OK - The proposed site plan is compatible with the adjacent land uses. The adjacent land uses are commercial and office.
(2) Preserve existing natural features whenever possible	N/A - There are no natural features to preserve.
(3) Achieve a safe and efficient circulation system	OK – The drive aisles are of sufficient width to allow for safe and efficient traffic circulation. Access to the site is via shared curb cuts from both Northdale Boulevard and 129th Avenue. The driveways are shared with the office building on the east.
(4) Not place excessive traffic loads on local streets	OK – Northdale Boulevard and 129th Avenue can both handle any traffic generated by the proposed office building.
(5) Conform to the City’s plans for parks, streets, service drives, and walkways	OK - There is an existing sidewalk along Northdale Boulevard.
(6) Conform to the City’s Goals and Policies	OK – The project does not require any variance or flexibility.
(7) Achieve a maximum of safety, convenience, and amenities	OK – An internal sidewalk system connects the building entrances with the parking lot. There is also a sidewalk connecting the building with the sidewalk along Northdale Boulevard. Lighting is provided for the parking lot and driveway. The lights will have shields and cut offs so that the light is directed away from adjacent properties. The lighting plan complies with city ordinance.
(8) Show sufficient landscaping	NO – See discussion below.
(9) Not create detrimental disturbances to surrounding properties	OK – The project will not create disturbances which will be detrimental to the surrounding properties.
(10) Meet Title 11	OK - No variances are required.
(11) Show efforts to conserve energy whenever practical	OK - Landscaping is provided to provided shade for the parking lot.

Building Elevations

The building elevations will be a mix of brick, EIFS and architectural metal panels. The type and mix of materials complies with the code. No one material exceeds 35% of the facade and the mix of materials is continued on all four sides. The brick is a mix of carbon black and Alaska white, and is a mix of smaller modular and utility sizes. The EIFS is grey. The mix of materials also

breaks up the facades creating interesting shapes. The raised parapets create interest on the the flat roof.

The main entrance is is the focal point with canopy and the metal panel exterior. There is also an entrance facing Northdale Boulevard; it is highlighted with a metal canopy.

The dumpster enclosure will be brick to match the building.

Parking and Access

The parking requirement for this project is 23 spaces, the applicant is proposing 40 spaces. The drive aisles and stall dimensions comply with code requirements. The site will utilize two existing shared rdiveways, one from Northdale Boulevard and the other from 129th Street. The driveway is shared with the office building to the east.

Pedestrian and Bicycle

Internal sidewalks connect the parking spaces to the building entrances. A sidewalk connects the building to the one on Northdale Boulevard. A bicycle rack should also be installed near the main entrance.

Signage

A monument sign is proposed along Northdale Boulevard. The location complies with the 10 foot setback requirement.

Landscaping

Location	Standard	Requirement	Proposed
Street Frontage			
Over-story	1/40' of frontage Northdale Blvd and 129th Avenue	Northdale - 5 129th - 4	9
Shrubs	1/5' of frontage Northdale Blvd and 129th Avenue	Northdale - 37 129th - 30	72
Open Areas			
Over-story	1/3000 sf of open area	4	4
Evergreen	1/3000 sf of open area	4	4
Ornamental	1/1500 sf of open area	8	8
Shrubs	1/250 sf of open area	120	115

Frontage

There is 187 linear feet of street frontage on Northdale and 148 linear feet on 129th. Northdale requires five overstory trees. and 129th requires four overstory trees The landscape plan has 9 overstory trees, Thirty-seven (37) shrubs are needed on Northdale and 30 on 129th, the plan 72. A three foot high screen is required between the paving and the two streets. The screen can be a hedge, berm or a combination of the two.

Open Space

The plan meets the number of overstory, ornamental and evergreen trees. The landscape plan is short the number of shrubs required (115 proposed and 120 required). The applicant is proposing a rain garden between the building and 129th Avenue. A detailed planting plan for the rain garden is provided.

Parking Lot

The parking lot is sufficiently landscaped. However, a 3 foot high screen is required between the parking lot and Northdale Boulevard .

Dumpster Enclosure

Additional screening should be provided to screen the dumpster enclosure.

Grading, Drainage and Utilities

The City Engineer has reviewed the grading drainage and erosion plans; his comments can be found on the attached report.

Park Dedication

The park dedication has not been paid and is due at the time of Building Permit application. The fee is \$5,000 per acre (1.36ac x \$5,000 = \$6,800).

RECOMMENDATION

In Planning Case 16-23, staff recommends the Planning Commission approve the proposed site plan with the following conditions:

1. A 3 foot high hedge/berm must be located between the parking lot and Northdale Boulevard.
 2. An additional five shrubs are needed in the open space.
 3. The mechanical equipment must be screened and/or painted so as to not be visible from public streets and other properties.
 4. Compliance with Title 11, Land Development Regulations.
 5. Park dedication in the amount of \$6,800 is due at the time of Building Permit application.
 6. All engineering comments be addressed.
 7. The developer enter into a Site Security Agreement with the City.
-

Attachments

Location Map

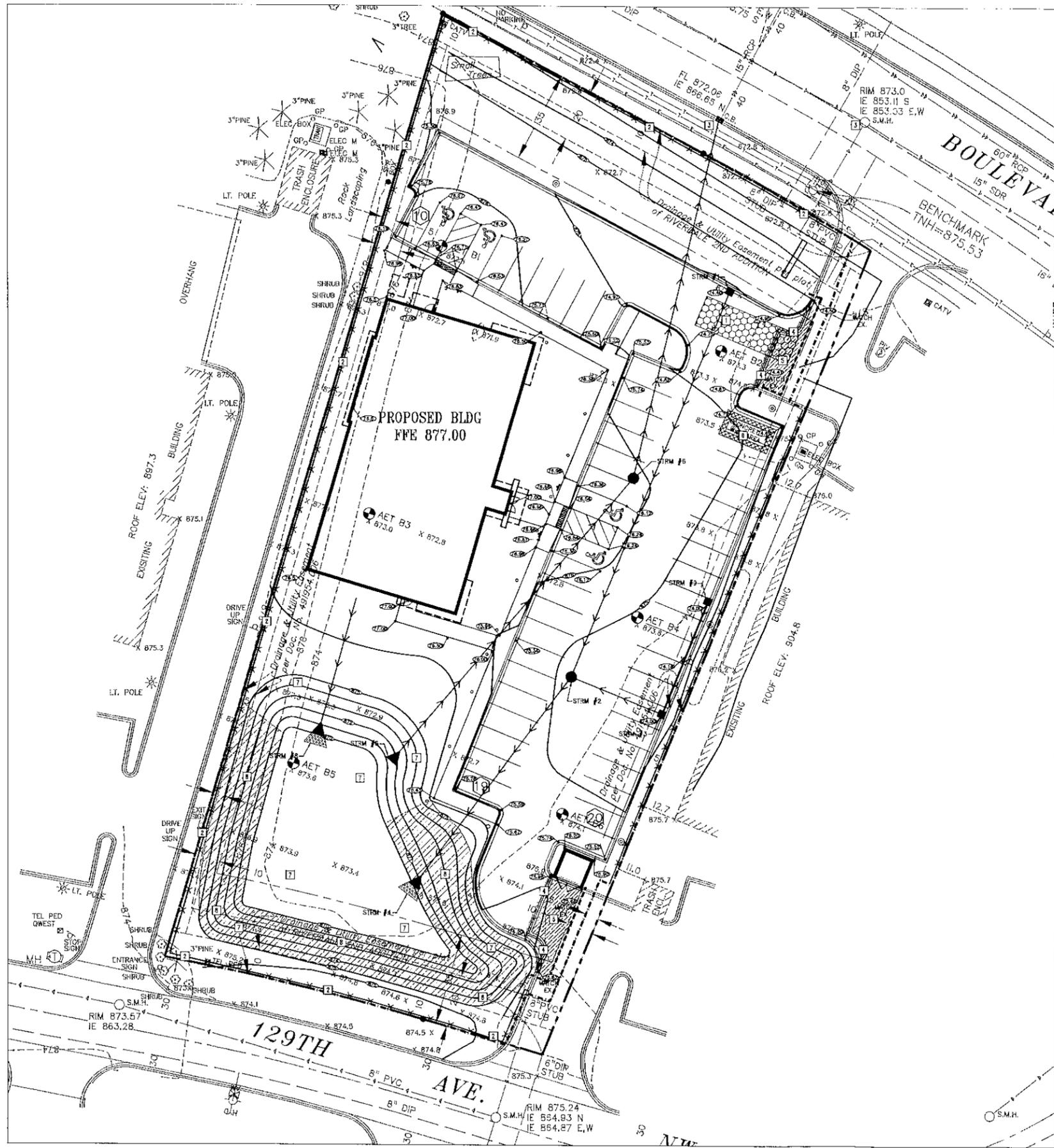
Site Plan

Grading Plan

Landscape Plan

Building Elevations

Engineering Comments

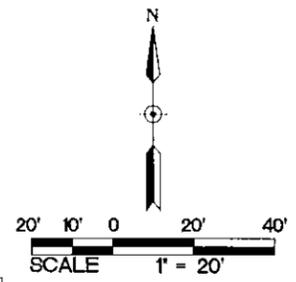


PROPOSED PLAN SYMBOLS

CONSTRUCTION LIMITS	---
SILTATION FENCE	XXX
PROPERTY LINE	---
SAWCUT LINE (APPROX.)	---
PROPOSED CONTOUR	---
STORM SEWER	---
CATCH BASIN	○
MANHOLE	●
ROCK CONSTRUCTION ENTRANCE	▨
CURB REMOVAL	▨
BITUMINOUS REMOVAL	▨
EROSION CONTROL BLANKET (TEMPORARY)	▨
DRAINAGE FLOW ARROW	→
SPOT ELEVATION	○
SOIL BORING	○
CONCRETE WASHOUT AREA	▨

ABBREVIATIONS

BDW	Building
BM	Bench Mark
CB	Catch Basin
CONC	Concrete
ELEV	Elevation
EX	Existing
FFE	Finished Floor Elevation
INV	Invert
MAX	Maximum
MH	Manhole
MIN	Minimum
PVC	Polyvinyl Chloride
RCP	Reinforced Concrete Pipe
W.O.	Washout



APPROXIMATE DISTURBED AREA IS 1.33 ACRES

NOTE: STORM SEWER INLETS NOT SHOWN ON PLAN MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INSTALL INLET SEDIMENT PROTECTION PER DETAIL 3/C5 ON ALL STORM INLETS THAT MAY RECEIVE RUNOFF.

KEYED NOTES

- KEYED NOTES ARE DENOTED BY [] ON PLAN.
- INSTALL ROCK CONSTRUCTION ENTRANCE. REFER TO DETAIL 1/C5.
 - INSTALL SILT FENCE. REFER TO DETAIL 2/C5.
 - INSTALL INLET SEDIMENT PROTECTION. REFER TO DETAIL 3/C5.
 - REMOVE CURB AND CUTTER IN ITS ENTIRETY TO THE EXTENT SHOWN. SAWCUT AND REMOVE AT NEAREST JOINT.
 - SAWCUT AND REMOVE BITUMINOUS PAVEMENT IN ITS ENTIRETY TO THE EXTENTS SHOWN.
 - APPROXIMATE LOCATION OF TEMPORARY CONTAINED CONCRETE WASH OUT BIN. REFER TO THE MINNESOTA'S NPDES/SDS GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY FOR MORE DETAILS. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS IS AN ACCEPTABLE ALTERNATIVE TO ON-SITE CONTAINMENT.
 - INFILTRATION BASIN(S) AND WATER QUALITY TREATMENT POND(S) ARE TO BE CONSTRUCTED AT THE END OF GRADING OPERATIONS ONCE THE TRIBUTARY AREA'S FINAL STABILIZATION HAS BEEN INSTALLED. REFER TO DETAIL 9/C5 FOR INFILTRATION BASIN(S) CROSS SECTION. CONSTRUCTION TRAFFIC IN INFILTRATION AREA(S) IS NOT ALLOWED AFTER AREA HAS BEEN EXCAVATED. PRIOR TO FINAL STABILIZATION, LOOSEN SOIL WITH MECHANICAL TILLER. INFILTRATION AREA(S) ARE NOT APPROVED BORROW SITES AND ARE NOT TO BE USED FOR TEMPORARY SEDIMENT BASIN(S) ONCE BASIN(S) SUBGRADE ELEVATION HAS BEEN EXCAVATED. CONTRACTOR SHALL ENSURE THAT BASIN(S) INFILTRATE AT A MINIMUM RATE OF 0.45 PER HOUR USING A PERCOLATION TEST BEFORE FINAL ACCEPTANCE. PERCOLATION TEST SHALL BE SIGNED BY A REGISTERED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE CITY AND ENGINEER FOR REVIEW BEFORE FINAL APPROVAL.
 - INSTALL MN/DOT 3885 CATEGORY 2 TEMPORARY STRAW FIBER EROSION CONTROL BLANKET.



6930 Brooklyn Boulevard
 Minneapolis, MN 55429-2618
 Phone: (763) 843-0420
 Fax: (763) 843-0421
 www.bkbm.com

DESIGNED BY: []
 CHECKED BY: []
 DRAWN BY: []
 DATE: []

DATE	
DESIGNED BY	
CHECKED BY	
DRAWN BY	
DATE	

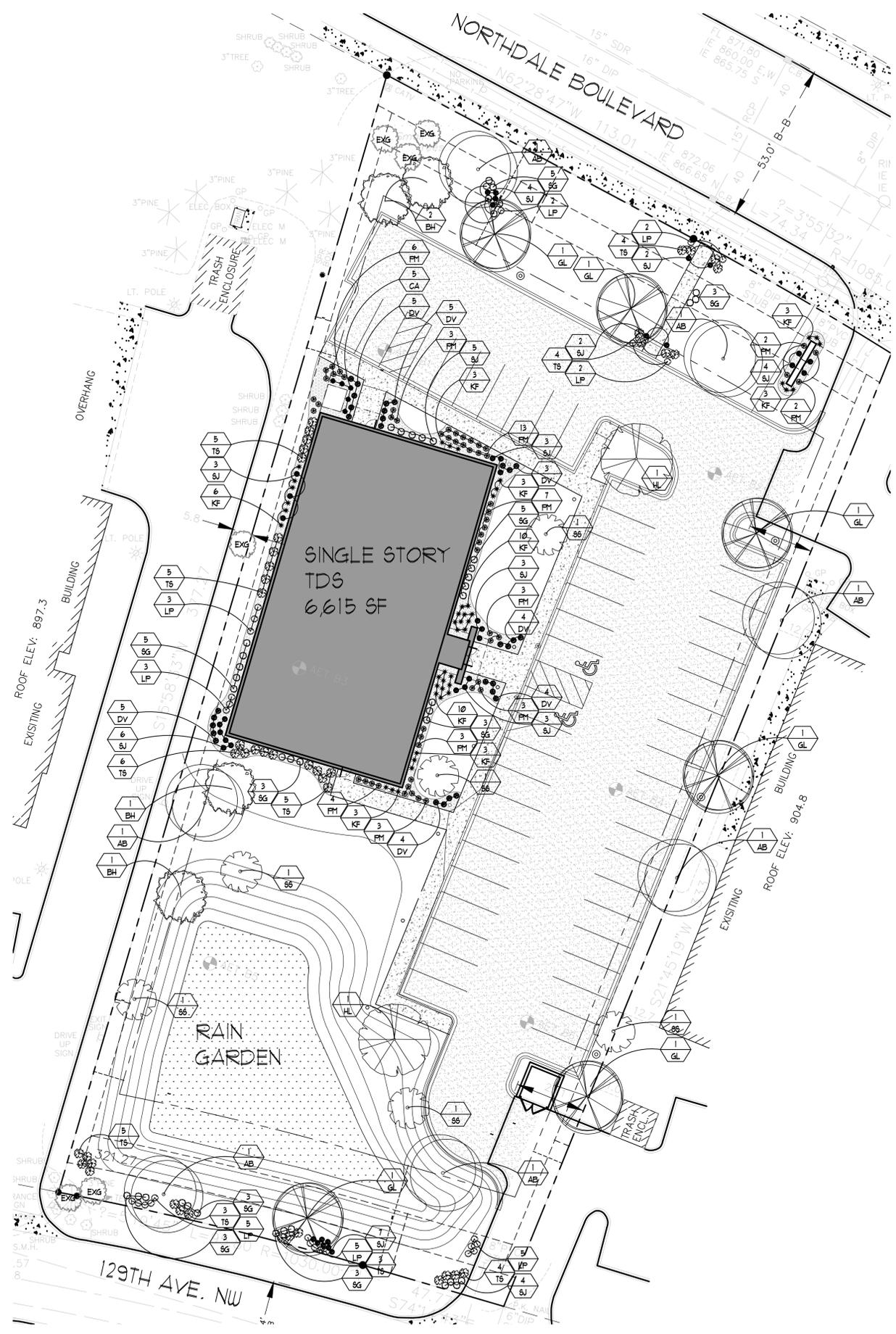
THE DENTAL SPECIALISTS
 3360 NORTHDALE BOULEVARD NW
 COON RAPIDS, MN 55448

- SELECT DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PROJECT NO: 16365
 DRAWN BY: REL
 CHECKED BY: KAM

1 SELECT DEMOLITION, GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 C1 1"=20'

C1



LANDSCAPE NOTES:

- ALL PLANTING IN TURF AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY OR BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND SUBMIT SHOP DRAWING OF IRRIGATION DESIGN AND CALCULATIONS TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION. IRRIGATION DESIGN IS TO MEET ALL CITY PLUMBING CODES AND REQUIREMENTS.
- EDGE ALL SHRUB AND PERENNIAL BEDS WITH SIX (6) INCH WIDE BY 1/8" THICK BLACK POWDER COATED GALVANIZED STEEL LANDSCAPE EDGING.
- PROVIDE FOUR (4) INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK MULCH IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES LOCATED IN TURF AREAS. NO VINYL EDGING IS REQUIRED FOR TREES LOCATED IN SHRUB AREAS AND SEEDING AREAS.
- PROVIDE FOUR (4) INCH MINIMUM DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL SHRUB AREAS.
- PROVIDE THREE (3) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH IN ALL PERENNIAL AREAS.
- PROVIDE THREE (3) INCH DEPTH OF ONE AND ONE-HALF (1.5) INCH RIVER ROCK OVER BLACK LANDSCAPE FABRIC UNLESS OTHERWISE NOTED ON PLAN.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE AND LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLAN SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- SOD SHOWN ON LANDSCAPE PLAN TO BE INSTALLED BY LANDSCAPE CONTRACTOR. SOD TO BE MNDOT 3878.2A, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF TOPSOIL AND THOROUGHLY FERTILIZE BEFORE LAYING SOD. LANDSCAPE CONTRACTOR TO MAINTAIN SODDED AREAS IN HEALTHY CONDITION.
- PLANTING SOIL FOR BACKFILLING TO BE TOPSOIL WITH 3 LBS. OF COMMERCIAL FERTILIZER AND ONE-FIFTH YARD OF PEAT HUMUS PER CUBIC YARD. TOPSOIL TO BE MNDOT SELECT TOPSOIL BORROW 3877B.
- SPREAD PLANTING SOIL AT MINIMUM EIGHTEEN (18) INCH DEEP IN ALL PERENNIAL BEDS PRIOR TO PLANTING.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR TO MAINTAIN PLANTS IN HEALTHY CONDITION THROUGHOUT GUARANTY PERIOD. THE GUARANTY PERIOD IS TWO GROWING SEASONS FROM DATE OF PROVISIONAL ACCEPTANCE UNTIL FINAL ACCEPTANCE.

LANDSCAPED AREA: PER COON RAPIDS 11-701.5 ORDINANCE 11-701.5

AT LEAST 25 PERCENT OF THE LOT AREA MUST BE LANDSCAPED

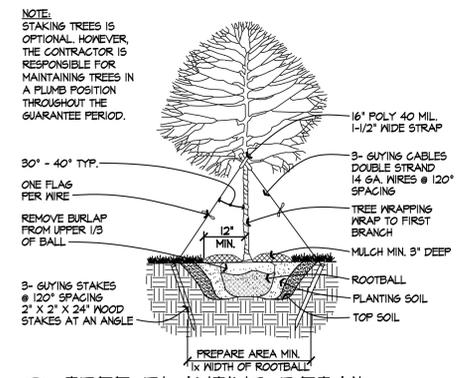
TOTAL PARCEL AREA:	53,179 SF
BUILDING AREA:	6,791 SF / 11%
PAVEMENT AREA:	23,638 SF / 44%
SOD & LANDSCAPED AREA:	28,750 SF / 54%
(GREEN SPACE)	PROVIDED AREA MEETS CITY ORDINANCE

CITY OF COON RAPIDS LANDSCAPE STANDARDS

GREEN SPACE: 28,750 SF / .66 ACRES

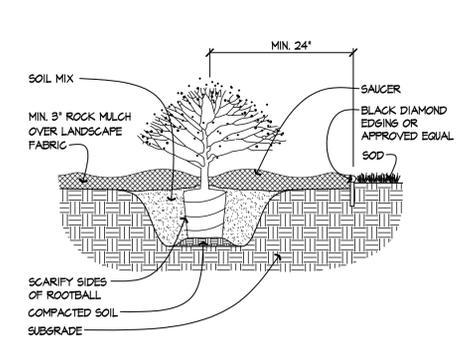
LOCATION & MINIMUM QUANTITY OF PLANT MATERIALS

STREET FRONTAGE:	12,000 SF APPROX
OVER-STORY TREE:	9 REQUIRED / 9 PROVIDED
SHRUBS:	67 REQUIRED / 72 PROVIDED
OPEN YARD:	16,750 SF APPROX
OVER-STORY TREE:	4 REQUIRED / 4 PROVIDED
ORNAMENTAL TREE:	8 REQUIRED / 8 PROVIDED
EVERGREEN TREE:	4 REQUIRED / 4 PROVIDED
SHRUBS:	120 REQUIRED / 115 PROVIDED
PARKING LOT:	
3% PARKING WITHIN ISLANDS	OVER 3% WITHIN ISLANDS
5 FT WIDE ISLAND W/ IRRIGATION	8 FT WIDE ISLAND W/ IRRIGATION
(2) OVER-STORY TREES REQUIRED	1/2 ISLANDS EACH W/ (1) OVER-STORY TREE PROVIDED
SCREENING:	
3 FT BERRY OR HEDGE REQUIRED	SHRUBS PROVIDED



PLAN SYMBOL	16 PPG	QUANTITY	CODE	PLANT SCHEDULE				
OVERSTORY TREES								
CODE	SYM.	QTY.	SIZE	ROOT	MATURE SIZE	COMMON NAME	LATIN NAME	REMARKS
AB	○	7	2.5" CAL.	B&B	42' H x 28" W	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	STRAIGHT LEADER
GL	○	6	2.5" CAL.	B&B	35' H x 24" W	Greenleaf Linden	Tilia cordata 'Greenleaf'	STRAIGHT LEADER
HL	○	2	2.5" CAL.	B&B	25' H x 24" W	Imperial Honeylocust	Gleditsia triacanthos 'Imperial'	STRAIGHT LEADER
CONIFEROUS TREES								
CODE	SYM.	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
BH	○	4	6' HT	B&B	35' H x 20" W	Black Hills Spruce	Picea glauca demata	STRAIGHT LEADER
ORNAMENTAL TREES								
CODE	SYM.	QTY.	SIZE	ROOT	MATURE SIZE	COMMON NAME	LATIN NAME	REMARKS
SS	○	8	1.5" CAL.	B&B	2' H x 14" W	Spring Snow Crabapple	Malus 'Spring Snow'	STRAIGHT LEADER
DECIDUOUS SHRUBS								
CODE	SYM.	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
DV	○	30	#5 CONT	POT	4' H	Dwarf European Viburnum	Viburnum opulus 'Nanum'	-
TB	○	44	#5 CONT	POT	3.5' H x 2.5' W	Tor Spirea	Spiraea betulifolia 'Tor'	-
LP	○	29	#5 CONT	POT	2.5' H x 2.5' W	Little Princess Spirea	Spiraea japonica 'Little Princess'	-
EVERGREEN SHRUBS								
CODE	SYM.	QTY.	SIZE	ROOT	SIZE	COMMON NAME	LATIN NAME	REMARKS
CA	○	5	48" HT	POT	9' H x 2.5' W	Columnar Arborvitae	Thuja occidentalis 'Columnar'	-
SG	○	42	#5 CONT	POT	6' H x 6' W	Sea Green Juniper	Juniperus chinensis 'Sea Green'	-
SJ	○	37	#5 CONT	POT	1.5' H	Scandia Juniper	Juniperus sabinia 'Scandia'	-
GRASSES/PERENNIALS								
CODE	SYM.	QTY.	SIZE	ROOT	COMMON NAME	LATIN NAME	REMARKS	
KF	○	50	#1 CONT	POT	5' H x 2' W	Karl Foerster Grass	Calamagrostis x acutiflora 'Karl Foerster'	-
PM	○	43	#1 CONT	POT	1.5' H x 1.5' W	Pardon Me Daylily	Hemerocallis 'Pardon Me'	-
GROUND COVER								
SYMBOL	DESCRIPTION	REMARKS						
[Pattern]	RAINGARDEN	SEE SEED MIXTURES						
[Pattern]	NEW CONCRETE SIDEWALKS	-						
[Pattern]	NEW BITUMINOUS PARKING/DRIVE AREA	SEE NOTE #1						
[Pattern]	BUFF LANDSCAPE ROCK AREA FOR PLANTINGS	SEE NOTE #2						
NOTES:								
1. ADJACENT BITUMINOUS TO BE REMOVED IN ORDER TO CREATE CONTINUOUS BITUMINOUS PAVEMENT SURFACE FOR PARKING. STRIPE PEDESTRIAN CROSSING PATHS AS APPLICABLE.								
2. BUFF 3" ROCK MULCH OVER LANDSCAPE FABRIC (18" MIN. WIDTH AROUND BUILDING). PROVIDE BLACK PLASTIC EDGING BETWEEN ROCK & SOD (TYP.) ROCK MULCH SPEC. 'RIVER ROCK'								
3. RE-SOD ALL EXISTING GRASS AREAS DISTURBED BY CONSTRUCTION INCLUDING CURBS, RETAINING WALLS AND PLANTINGS.								
4. EXST = EXISTING TREES TO REMAIN								

PLAN SYMBOL	16 PPG	QUANTITY	CODE	SEED MIXTURES	
RAIN GARDEN PLANTING PROFILE					
A. RAIN GARDEN EDGES AND SLOPES					
#	NAME	SCIENTIFIC NAME			
1	BUTTERFLY FLOWER	ASCLEPIAS TUBEROSA			
2	PURPLE PRAIRIE CLOVER	DALEA PURPUREUM			
3	FEATHER REED GRASS	CALAMAGROSTIS 'KARL FOERSTER'			
4	PURPLE CONEFLOWER	ECHINACEA PURPUREA			
5	BLACK-EYED SUSAN	RUDBECKIA FULGIDA 'GOLDBSTRUM'			
6	OBEDIENT PLANT	FHYSTEGIA VIRGINIANUM			
B. RAIN GARDEN BOTTOMS					
#	NAME	SCIENTIFIC NAME			
1	JOE-PYE WEE	EUPATORIUM MACULATUM			
2	CARDINAL FLOWER	LOBELIA CARDINALIS			
3	PINK TURTLEHEAD	CHELONE SPP.			
4	VIRGINIA BLUEBELLS	MERTENSIA VIRGINIANA			
5	SWITCHGRASS 'HEAVY METAL'	PANICUM VIRGATUM 'HEAVY METAL'			



1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

2 TREE PLANTING DETAIL
NOT TO SCALE

3 SHRUB PLANTING DETAIL
NOT TO SCALE

SRA
SPERIDES REINERS ARCHITECTS, INC.

4900 WEST OLD SHAKOPEE ROAD
SUITE 920
BLOOMINGTON, MINNESOTA 55437
PH: 952.996.9662
FX: 952.996.9663
WWW.SPARCHITECTSINC.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

THE DENTAL SPECIALISTS
3360 NORTHDAL E BOULEVARD NW
COON RAPIDS, MN 55448

• LANDSCAPE PLAN

PROJECT NO: 16-040
DRAWN BY: T.V.
CHECKED BY: E.R.

L1



1 EAST ELEVATION COLOR
 1 N.T.S.



2 NORTH ELEVATION COLOR
 1 N.T.S.



3 WEST ELEVATION COLOR
 1 N.T.S.



4 SOUTH ELEVATION COLOR
 1 N.T.S.

ELEVATION KEYNOTES

- | | | | |
|--|---|--|---------------------------------|
| 1 PREFINISHED METAL FLASHING OR COPING, COLOR - CHARCOAL/MATTE BLACK | 4 EIFS (w/ WATER DRAINAGE), COLOR - 132, MOUNTAIN FOG | 7 CAST STONE MASONRY BANDS, COLOR - OFF WHITE (ARTSTONE #1001) | 10 OVERFLOW SCUPPER, ROOF DRAIN |
| 2 PREFINISHED METAL FLASHING, PANEL, OR COPING, COLOR - WHITE | 5 BRICK, UTILITY WITH 1/3 BOND, COLOR - CARBON BLACK | 8 ALUMINUM STOREFRONT SYSTEM, COLOR - CLEAR ANODIZED | 11 PRELIMINARY SIGNAGE |
| 3 PREFINISHED METAL, HORIZONTAL PROFILE SERIES PANEL, COLOR - PLATINUM | 6 BRICK, MODULAR STANDARD BOND, COLOR - OYSTER WHITE | 9 PRELIMINARY RTU | 12 WALL MOUNTED LIGHT, SCONCE |



TO: Scott Harlicker, Planner

FROM: Alex Wiebe, Civil Engineer
Mark Hansen, Assistant City Engineer

SUBJECT: The Dental Specialists
Civil Site Plan Review

DATE: August 15, 2016

The following comments are based on the Engineering Division's review of the civil site plans submitted for The Dental Specialists. The plans are dated August 8, 2016, and were prepared by BKBM Engineers.

Select demolition, grading, drainage, and erosion control plan – C1

- A ring of silt fence shall be installed around the perimeter of the infiltration basin upon completion of construction.
- Identify the EOF on the infiltration basin.
- Identify concrete sidewalk removal/replacement required for the storm sewer connection to the existing City catch basin on Northdale Boulevard.
- There are three low spots in the curb where there is no catch basin. Provide verification these locations will drain.
- The Coon Creek Watershed District will require verification of infiltration basin functionality via a double ring infiltrometer test.
- A note shall be included on the grading plan that states periodic street sweeping shall be required at the request of the City of Coon Rapids.

Utility Plan – C3

- The proposed sanitary sewer structures are not labeled on the plans.
- Keyed note #9 should be appended to indicate that a vertical riser may be required to meet the 872.00 elevation.
- Utility notes 11 and 12 should be appended to indicate Minnesota Department of Labor and Industry plumbing code requirements will be required to be met on the sanitary sewer system.
- Provide verification that no vertical conflicts exist between the storm sewer outlet pipe and the sewer/water services to the proposed building.

Preliminary Site Plan – A1

- The infiltration basin elevation does not match the grading plan.

General Comments

- The applicant will be required to get a permit from the Coon Creek Watershed District. A

building permit will not be approved by the City until the applicant receives the required Watershed District permit.

- Based on the amount of disturbed area, an NPDES permit and storm water pollution prevention plan will be required by the MPCA. The City of Coon Rapids will be using WSB & Associates to perform periodic erosion control inspections during the construction phase of this project. The costs of these inspections will be paid for by the property owner/developer/contractor. A building permit will not be released until the applicant has a contract with WSB for the required NPDES inspections. Provide the City with a contact for setting up these required inspection services.
- Provide verification that City volume control requirements have been met. The City of Coon Rapids uses Minimal Impact Design Standards (MIDS), which requires infiltration of 1.1-inches of runoff from the new impervious surfaces.
- The watershed will require calculations for verification of manhole sump depth. The owner will be required to develop an operations and maintenance plan for the stormwater management proposed on this site.
- There are two special assessments currently levied on this property. These special assessments are for street construction and reconstruction projects near and adjacent to the site.

Cc: Tim Himmer, Public Works Director
Grant Fernelius, Community Development Director
Rebecca Haug, Coon Creek Watershed District



Planning Commission Regular

5.

Meeting Date: 09/15/2016

Subject: PC 16-22, Site plan for car dealership, 10202 Goldenrod Street, Carousel Motor Group

From: Scott Harlicker, Planner

INTRODUCTION

The applicant is requesting site plan approval for the construction of a car dealership. The site plan includes a 61,000 square foot building and 303 parking stalls.

ACTIONS

- Conduct a public hearing
- Decision by Planning Commission
- Appeal to City Council Available

60 DAY RULE

The applicant submitted this application on: August 8

To comply with the requirements of Minnesota Statute §15.99, the City must approve or deny the application by: October 7, 2016

LOCATION

The property is located at 10202 Goldenrod Street.

	Existing Use	Comprehensive Plan	Zoning
Subject Property	Vacant	General Commercial	General Commercial
North	Insurance building and fleet storage	General Commercial	General Commercial
South	Highway 10	N/A	N/A
East	Post office and office building	General Commercial and Institutional	Office and General Commercial
West	Highway 10	N/A	N/A

DISCUSSION

The applicant is proposing to construct a car dealership with a 61,000 square foot three story building and 303 parking spaces. The site is 5.93 acres in size and is undeveloped. There is frontage on Goldenrod Street, 102 Avenue and Highway 10.

Site Plan Criteria

Required Finding - Chapter 11-325 - General Requirements for All Site Plans	Staff Analysis and Comments
(1) Be compatible with surrounding land uses	OK - The proposed site plan is compatible with the adjacent land uses. The adjacent land uses are commercial and office.
(2) Preserve existing natural features whenever possible	N/A- There are no natural features to preserve.
(3) Achieve a safe and efficient circulation system	OK – The drive aisles are of sufficient width to allow for safe and efficient traffic circulation. Access to the site is via curb cuts from both Goldenrod Street and 102 Avenue. The site is designed to allow for on site drop off of vehicles.
(4) Not place excessive traffic loads on local streets	OK – Both streets can both handle any traffic generated by the proposed office building.
(5) Conform to the City’s plans for parks, streets, service drives, and walkways	N/A
(6) Conform to the City’s Goals and Policies	OK – The project does not require any variance or flexibility.
(7) Achieve a maximum of safety, convenience, and amenities	OK – An internal sidewalk system connects the building entrances with the parking lot. Lighting is provided for the parking lot and driveway. The lights will have shields and cut offs so that the light is directed away from adjacent properties. The lighting plan complies with city ordinance.
(8) Show sufficient landscaping	OK – See discussion below.
(9) Not create detrimental disturbances to surrounding properties	OK – The project will not create disturbances which will be detrimental to the surrounding properties.
(10) Meet Title 11	OK - No variances are required.
(11) Show efforts to conserve energy whenever practical	OK - Landscaping is provided to provide shade for the parking lot.

Building Elevations

The building is a mix of materials. Materials include precast panels of different textures, architectural perforated metal panels and glass. Each elevation complies with the mix of materials requirement except the east elevation. Code requires no more than 35% of any one material, the east elevation has 42% sandblast precast panels. The color of the building will be different shades of white with the Honda blue accent color. The perforated metal panels will be silver or steel in color.

Included in the building are a display area and offices, service and prep area and 188 parking

stalls for inventory. The parking spaces are allocated to all three floors with the bulk of them on the third floor. The architectural metal panels enclose the parking area on the west, north and south side of the building in a manner similar to the Mercy Hospital parking deck. Glass display areas are located at the southwest corner on all three floors.

The front of the building will face Highway 10 and consists of the west and south building elevations. The north side functions as the rear of the building and faces the Progressive Insurance site. The overhead doors on the east side of the building will consist of glass panels. This will soften the impact and will be less intrusive than if they were traditional solid doors. The east elevation will also be screen from Goldenrod Street with landscaping.

Parking and Access

The main access will be on the east side of the site from 102 Avenue. A second access is located at the north end of the site from Goldenrod Street. 303 surface parking stalls are provided with 96 allocated to meet the required parking for the dealership. The remaining 207 spaces will be used for inventory.

The site is designed so that delivery of inventory can occur on site and cars will not have to be dropped off on the street. Transport trucks can enter from Goldenrod Street and exit on to 102 Avenue.

Landscaping

Location	Standard	Requirement	Proposed
Street Frontage			
Over-story	1/40' of frontage Goldenrod Street, 102th Avenue	16	16
Shrubs	1/40' of frontage Highway 10	27	20 + 7 existing
	1/5' of frontage Goldenrod Street and 102th Avenue	125	145
	Highway 10	212	212
Open Areas			
Over-story	1/3000 sf of open area	10	10
Evergreen	1/3000 sf of open area	10	10
Ornamental	1/1500 sf of open area	20	20
Shrubs	1/250 sf of open area	298	298

The landscaping plan complies with the landscape requirements. The landscaping along Goldenrod Street is enhanced to provide screening for the east side of the building which includes 10 glass panel overhead doors. The landscaping includes nine black hills spruce, four overstory trees and shrubs to fill in under the canopies of the overstory trees.

Grading, Drainage and Utilities

The Engineering comments are attached.

Signage

Ale sign is proposed along Highway 10. The complies with the setback requirement and will require a separate permit.

RECOMMENDATION

In Planning Case 16-22, the Commission approve the proposed site plan with the following conditions:

1. All comments of the City Engineer be addressed.
2. Compliance with Title 11, Land Development Regulations.
3. The developer enter into a Site Security Agreement with the City.
4. No vehicles shall be dropped off on Goldenrod Street or 102 Avenue.
5. The east building elevation shall be modified so that it consists of no more than 35% of any one acceptable material.

Attachments

Location Map

Development Plans

Floor Plans

Engineering Comments

Location Map

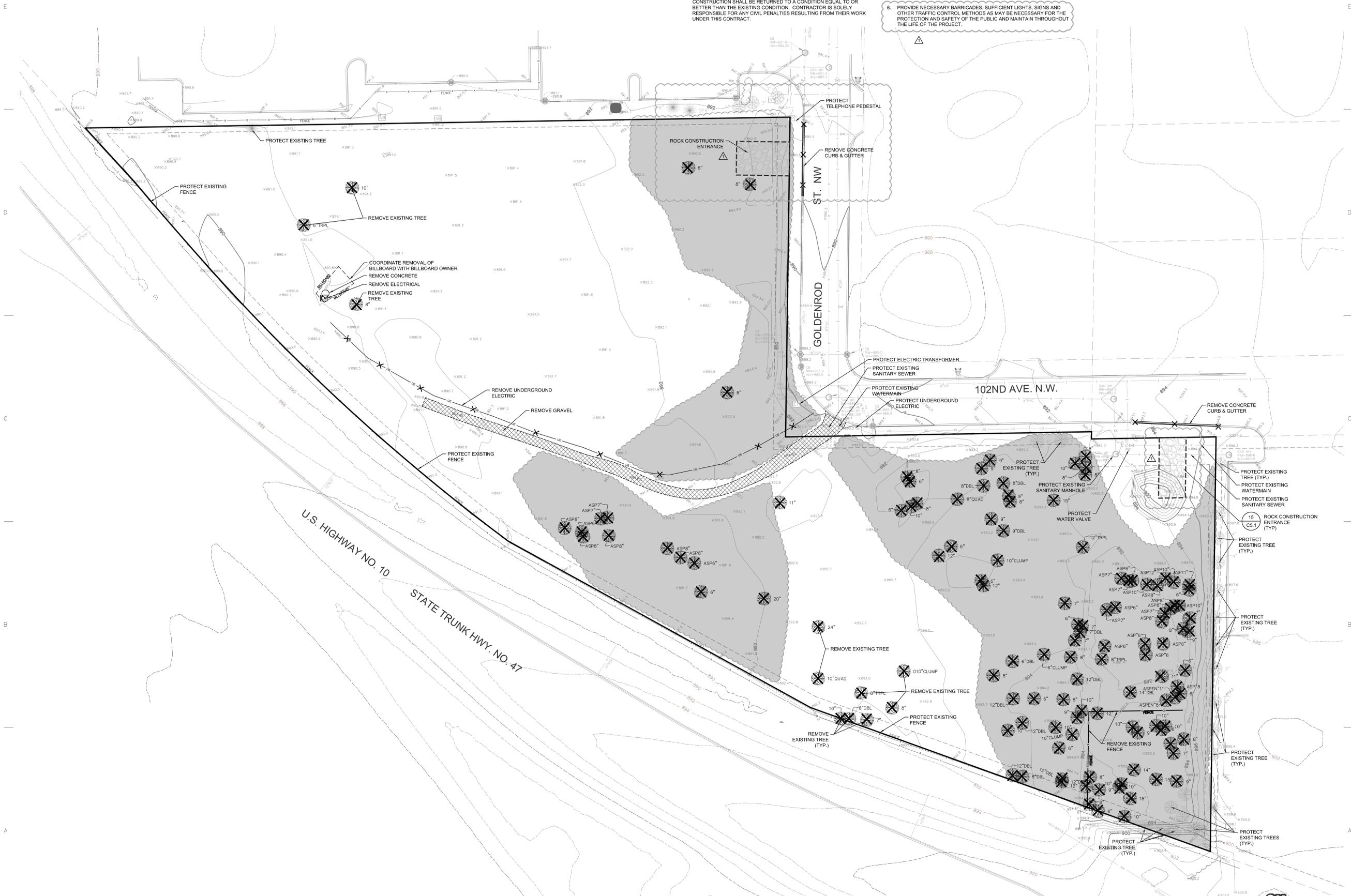


LEGEND

-  REMOVE GRAVEL
-  REMOVE CURB & GUTTER
-  REMOVE UTILITY
-  REMOVE TREE
-  TREE AND VEGETATION CLEARING
-  ROCK CONSTRUCTION ENTRANCE

DEMOLITION NOTES

1. BACKGROUND INFORMATION AND TOPOGRAPHIC SURVEY TAKEN FROM SURVEY BY CORNERSTONE LAND SURVEYING, INC., STILLWATER MINNESOTA, ON JULY 27 2016, EXPRESSLY FOR THIS PROJECT. ELAN DESIGN LAB CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
2. PROTECT ALL STRUCTURES AND LANDSCAPE NOT LABELED FOR DEMOLITION FROM DAMAGE DURING CONSTRUCTION. ANY ON-SITE OR OFF-SITE AREAS DISTURBED DIRECTLY OR INDIRECTLY DUE TO CONSTRUCTION SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY CIVIL PENALTIES RESULTING FROM THEIR WORK UNDER THIS CONTRACT.
3. NO DEMOLITION MATERIALS SHALL BE DISPOSED OF ON-SITE. ALL DEBRIS SHALL BE HAULED OFF-SITE TO A DISPOSAL AREA APPROVED BY APPROPRIATE GOVERNMENTAL AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS. WORK SITE SHALL BE LEFT IN A CONDITION THAT MINIMIZES EROSION POTENTIAL ON A NIGHTLY BASIS.
4. LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION LIMITS SHOWN ON THE PLAN. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL ORDINANCES.
5. CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE IN PLACE AS SOON AS DEMOLITION OPERATIONS ALLOW. SEE SHEETS CS.2 AND CS.3 FOR ALL EROSION CONTROL MEASURES AND APPROPRIATE STAGING.
6. PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT THE LIFE OF THE PROJECT.
7. REMOVE ALL EXISTING SURFACE SITE FEATURES INCLUDING, BUT NOT LIMITED TO, CONCRETE AND BITUMINOUS PAVING, CONCRETE AND BITUMINOUS CURBING, SIGNAGE AND RELATED FOUNDATIONS, WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.



BA
BAKER ASSOCIATES, INC.
ARCHITECTS

150 South Fifth Street
Suite 1425
Minneapolis, MN 55402-1200
Telephone: 612.339.8601
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Honda of Coon Rapids
Coon Rapids, MN

New Construction

Issued:
Site Plan Review
Revision
City Comments

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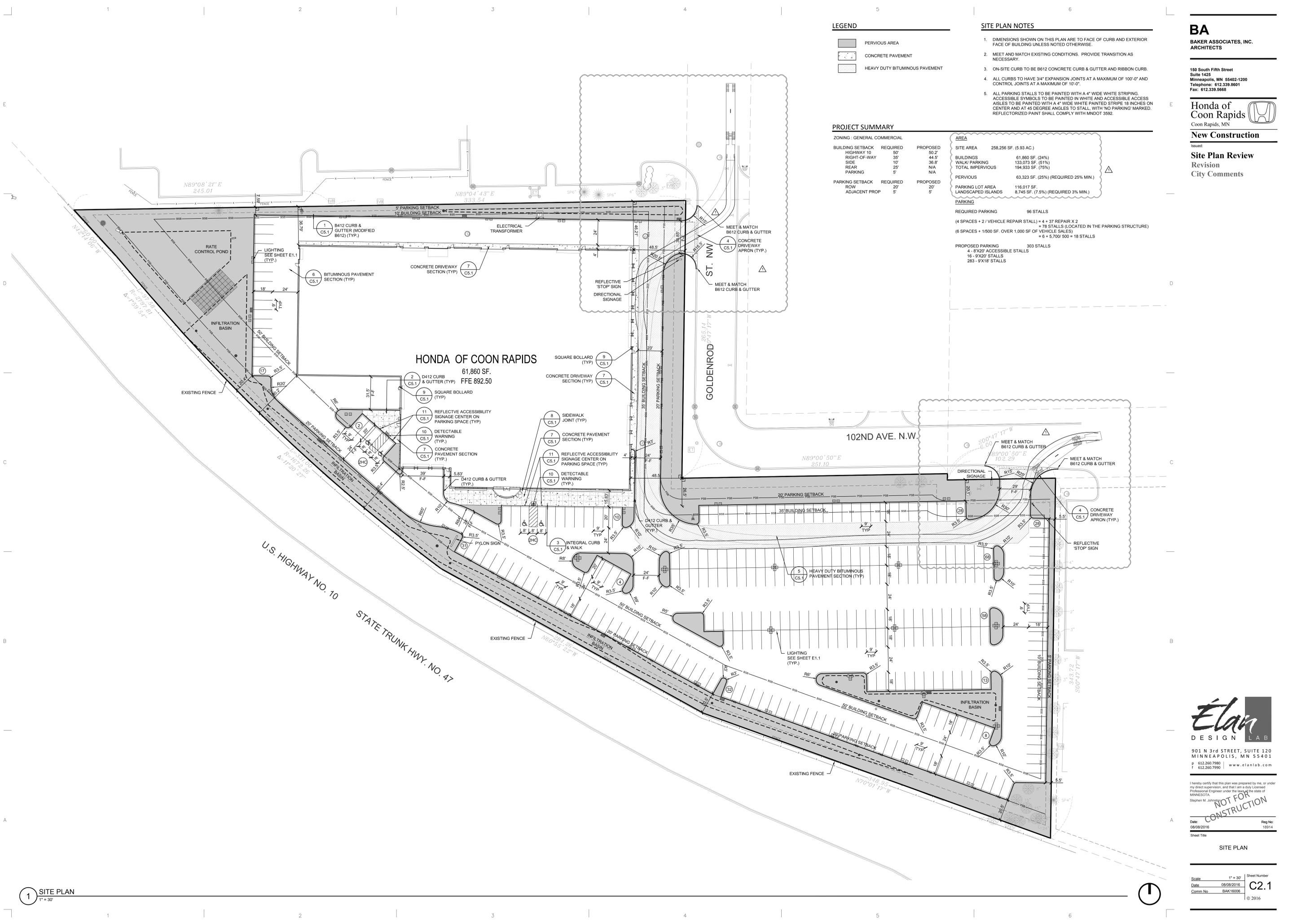
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Stephen M. Johnson
NOT FOR CONSTRUCTION

Date: 08/08/2016 Reg No: 18914
Sheet Title: DEMOLITION PLAN





LEGEND

- PERVIOUS AREA
- CONCRETE PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT

SITE PLAN NOTES

1. DIMENSIONS SHOWN ON THIS PLAN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
2. MEET AND MATCH EXISTING CONDITIONS. PROVIDE TRANSITION AS NECESSARY.
3. ON-SITE CURB TO BE B612 CONCRETE CURB & GUTTER AND RIBBON CURB.
4. ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT A MAXIMUM OF 100'-0" AND CONTROL JOINTS AT A MAXIMUM OF 10'-0".
5. ALL PARKING STALLS TO BE PAINTED WITH A 4" WIDE WHITE STRIPING. ACCESSIBLE SYMBOLS TO BE PAINTED IN WHITE AND ACCESSIBLE ACCESS AISLES TO BE PAINTED WITH 4" WIDE WHITE PAINTED STRIPE. 8 INCHES ON CENTER AND AT 45 DEGREE ANGLES TO STALL. WITH 'NO PARKING' MARKED. REFLECTORIZED PAINT SHALL COMPLY WITH MNDOT 3592.

PROJECT SUMMARY

ZONING: GENERAL COMMERCIAL

BUILDING SETBACK	REQUIRED	PROPOSED
HIGHWAY 10	50'	50.2'
RIGHT-OF-WAY	35'	44.5'
SIDE	10'	38.5'
REAR	25'	N/A
PARKING	5'	N/A

PARKING SETBACK	REQUIRED	PROPOSED
ROW	20'	20'
ADJACENT PROP	5'	5'

AREA

AREA	258,256 SF. (5.93 AC.)
BUILDINGS	61,860 SF. (24%)
WALK/PARKING	133,073 SF. (51%)
TOTAL IMPERVIOUS	194,933 SF. (75%)
PERVIOUS	63,323 SF. (25%) (REQUIRED 25% MIN.)
PARKING LOT AREA	116,017 SF.
LANDSCAPED ISLANDS	8,745 SF. (7.5%) (REQUIRED 3% MIN.)

PARKING

REQUIRED PARKING	96 STALLS
(4 SPACES + 2 / VEHICLE REPAIR STALL) = 4 + 37 REPAIR X 2	= 78 STALLS (LOCATED IN THE PARKING STRUCTURE)
(6 SPACES + 1/500 SF. OVER 1,000 SF OF VEHICLE SALES)	= 6 + 5,700/500 = 18 STALLS
PROPOSED PARKING	303 STALLS
4 - 8'X20' ACCESSIBLE STALLS	
16 - 9'X20' STALLS	
283 - 9'X18' STALLS	

1 SITE PLAN
1" = 30'

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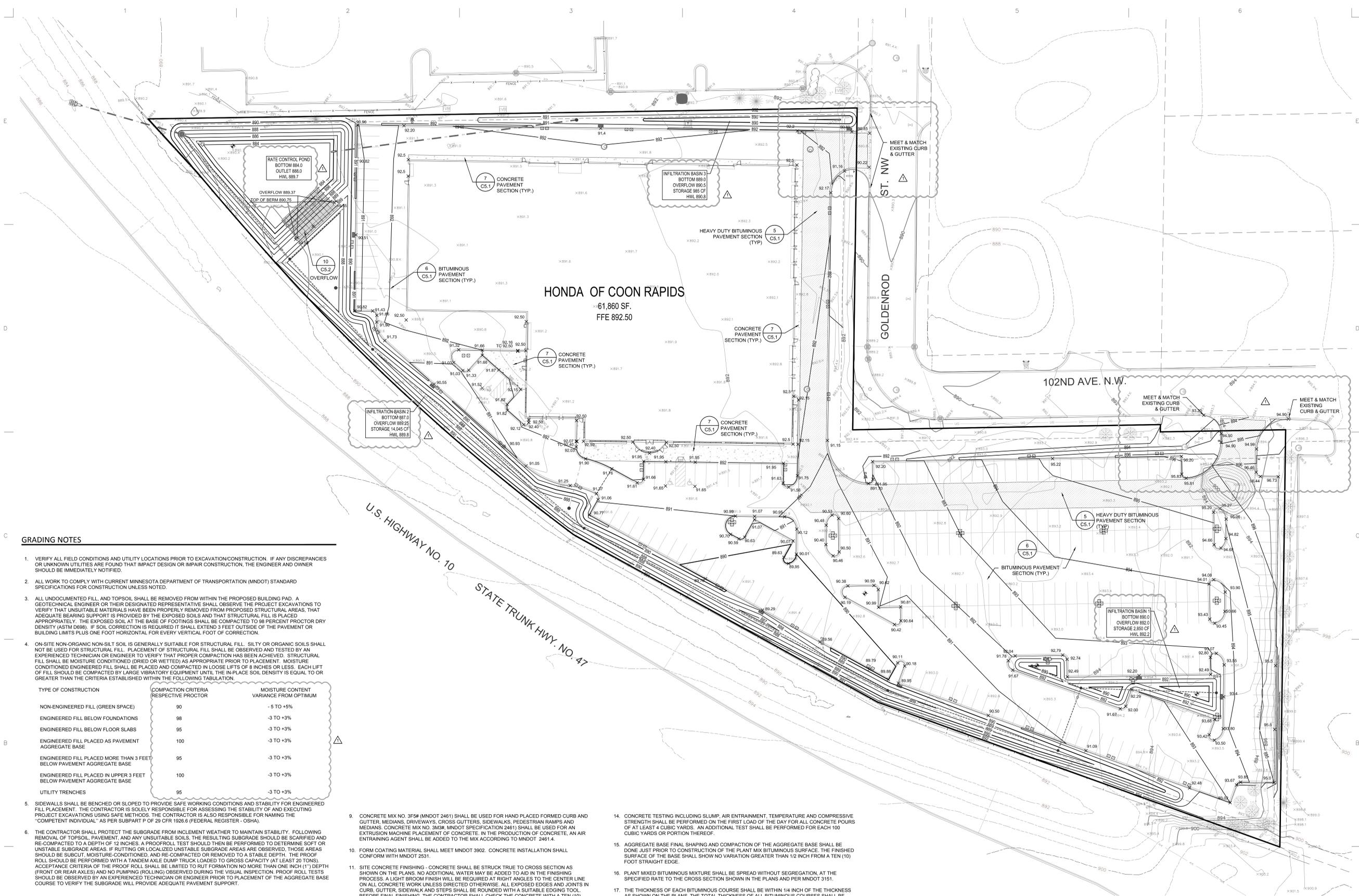
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Stephen M. Johnson

Date: 08/08/2016 Reg No: 18914
Sheet Title

SITE PLAN

Scale: 1" = 30'
Date: 08/08/2016
Comm No: BAK16006

Sheet Number: **C2.1**
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GRADING NOTES

- VERIFY ALL FIELD CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES OR UNKNOWN UTILITIES ARE FOUND THAT IMPACT DESIGN OR IMPAIR CONSTRUCTION, THE ENGINEER AND OWNER SHOULD BE IMMEDIATELY NOTIFIED.
- ALL WORK TO COMPLY WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS NOTED.
- ALL UNDOCUMENTED FILL, AND TOPSOIL SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING PAD. A GEOTECHNICAL ENGINEER OR THEIR DESIGNATED REPRESENTATIVE SHALL OBSERVE THE PROJECT EXCAVATIONS TO VERIFY THAT UNSUITABLE MATERIALS HAVE BEEN PROPERLY REMOVED FROM PROPOSED STRUCTURAL AREAS, THAT ADEQUATE BEARING SUPPORT IS PROVIDED BY THE EXPOSED SOILS AND THAT STRUCTURAL FILL IS PLACED APPROPRIATELY. THE EXPOSED SOIL AT THE BASE OF FOOTINGS SHALL BE COMPACTED TO 98 PERCENT PROCTOR DRY DENSITY (ASTM D998). IF SOIL CORRECTION IS REQUIRED IT SHALL EXTEND 3 FEET OUTSIDE OF THE PAVEMENT OR BUILDING LIMITS PLUS ONE FOOT HORIZONTAL FOR EVERY VERTICAL FOOT OF CORRECTION.
- ON-SITE NON-ORGANIC NON-SILT SOIL IS GENERALLY SUITABLE FOR STRUCTURAL FILL. SILTY OR ORGANIC SOILS SHALL NOT BE USED FOR STRUCTURAL FILL. PLACEMENT OF STRUCTURAL FILL SHALL BE OBSERVED AND TESTED BY AN EXPERIENCED TECHNICIAN OR ENGINEER TO VERIFY THAT PROPER COMPACTION HAS BEEN ACHIEVED. STRUCTURAL FILL SHALL BE MOISTURE CONDITIONED (DRIED OR WETTED) AS APPROPRIATE PRIOR TO PLACEMENT. MOISTURE CONDITIONED ENGINEERED FILL SHALL BE PLACED AND COMPACTED IN LOOSE LIFTS OF 8 INCHES OR LESS. EACH LIFT OF FILL SHOULD BE COMPACTED BY LARGE VIBRATORY EQUIPMENT UNTIL THE IN-PLACE SOIL DENSITY IS EQUAL TO OR GREATER THAN THE CRITERIA ESTABLISHED WITHIN THE FOLLOWING TABULATION.

TYPE OF CONSTRUCTION	COMPACTION CRITERIA RESPECTIVE PROCTOR	MOISTURE CONTENT VARIANCE FROM OPTIMUM
NON-ENGINEERED FILL (GREEN SPACE)	90	-5 TO +5%
ENGINEERED FILL BELOW FOUNDATIONS	98	-3 TO +3%
ENGINEERED FILL BELOW FLOOR SLABS	95	-3 TO +3%
ENGINEERED FILL PLACED AS PAVEMENT AGGREGATE BASE	100	-3 TO +3%
ENGINEERED FILL PLACED MORE THAN 3 FEET BELOW PAVEMENT AGGREGATE BASE	95	-3 TO +3%
ENGINEERED FILL PLACED IN UPPER 3 FEET BELOW PAVEMENT AGGREGATE BASE	100	-3 TO +3%
UTILITY TRENCHES	95	-3 TO +3%

- SIDEWALLS SHALL BE BENCHED OR SLOPED TO PROVIDE SAFE WORKING CONDITIONS AND STABILITY FOR ENGINEERED FILL PLACEMENT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ASSESSING THE STABILITY OF AND EXECUTING PROJECT EXCAVATIONS USING SAFE METHODS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR NAMING THE "COMPETENT INDIVIDUAL" AS PER SUBPART P OF 29 CFR 1926.6 (FEDERAL REGISTER - OSHA).
- THE CONTRACTOR SHALL PROTECT THE SUBGRADE FROM INCLEMENT WEATHER TO MAINTAIN STABILITY. FOLLOWING REMOVAL OF TOPSOIL, PAVEMENT, AND ANY UNSUITABLE SOILS, THE RESULTING SUBGRADE SHOULD BE SCARIFIED AND RE-COMPACTED TO A DEPTH OF 12 INCHES. A PROOFROLL TEST SHOULD THEN BE PERFORMED TO DETERMINE SOFT OR UNSTABLE SUBGRADE AREAS. IF RUTTING OR LOCALIZED UNSTABLE SUBGRADE AREAS ARE OBSERVED, THOSE AREAS SHOULD BE SUBCUT, MOISTURE-CONDITIONED, AND RE-COMPACTED OR REMOVED TO A STABLE DEPTH. THE PROOF ROLL SHOULD BE PERFORMED WITH A TANDEM AXLE DUMP TRUCK LOADED TO GROSS CAPACITY (AT LEAST 20 TONS). ACCEPTANCE CRITERIA OF THE PROOF ROLL SHALL BE LIMITED TO RUT FORMATION NO MORE THAN ONE INCH (1") DEPTH (FRONT OR REAR AXLES) AND NO PUMPING (ROLLING) OBSERVED DURING THE VISUAL INSPECTION. PROOF ROLL TESTS SHOULD BE OBSERVED BY AN EXPERIENCED TECHNICIAN OR ENGINEER PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE TO VERIFY THE SUBGRADE WILL PROVIDE ADEQUATE PAVEMENT SUPPORT.
- CONCRETE MIX NO. 356 (MNDOT 2461) SHALL BE USED FOR HAND PLACED FORMED CURB AND GUTTER, MEDIANS, DRIVEWAYS, CROSS GUTTERS, SIDEWALKS, PEDESTRIAN RAMPS AND MEDIANS. CONCRETE MIX NO. 3M39 (MNDOT SPECIFICATION 2461) SHALL BE USED FOR AN EXTRUSION MACHINE PLACEMENT OF CONCRETE. IN THE PRODUCTION OF CONCRETE, AN AIR ENTRAINING AGENT SHALL BE ADDED TO THE MIX ACCORDING TO MNDOT 2461.4.
- FORM COATING MATERIAL SHALL MEET MNDOT 3902. CONCRETE INSTALLATION SHALL CONFORM WITH MNDOT 2531.
- SITE CONCRETE FINISHING - CONCRETE SHALL BE STRUCK TRUE TO CROSS SECTION AS SHOWN ON THE PLANS. NO ADDITIONAL WATER MAY BE ADDED TO AID IN THE FINISHING PROCESS. A LIGHT BROOM FINISH WILL BE REQUIRED AT RIGHT ANGLES TO THE CENTER LINE ON ALL CONCRETE WORK UNLESS DIRECTED OTHERWISE. ALL EXPOSED EDGES AND JOINTS IN CURB, GUTTER, SIDEWALK AND STEPS SHALL BE ROUNDED WITH A SUITABLE EDGING TOOL BEFORE FINAL FINISHING. THE CONTRACTOR SHALL CHECK THE CONCRETE WITH A TEN (10) FOOT STEEL STRAIGHT EDGE TO ENSURE THERE IS NO VARIATION GREATER THAN 3/16" FROM THE STRAIGHT EDGE ON TANGENT LINES OR GRADES. IF DEVIATIONS GREATER THAN 3/16" ARE FOUND THE WORK WILL BE CONSIDERED AS UNACCEPTABLE AND WILL BE REQUIRED TO BE REMOVED AND REPLACED AT NO EXPENSE TO THE OWNER.
- CONCRETE CURING SHALL BE PERFORMED BY APPLYING A MEMBRANE CURING COMPOUND (TYPE 2, WHITE PIGMENTED, MNDOT 3754) TO THE EXPOSED SURFACE OF THE CONCRETE WITHIN ONE (1) HOUR AFTER FINISHING THE CONCRETE SURFACES. WHEN THE FORMS ARE REMOVED IN LESS THAN 72 HOURS AFTER PLACING THE CONCRETE, THE CURING COMPOUND SHALL BE APPLIED IMMEDIATELY TO THE EXPOSED SURFACES, OR THE TRENCHES SHALL BE BACKFILLED IMMEDIATELY WITH SUITABLE BACKFILL MATERIAL. THE RATE OF APPLICATION OF CURING COMPOUND SHALL BE 150 SQUARE FEET PER GALLON. THE COMPOUND SHALL APPEAR AS WHITE AS A SHEET OF PAPER AFTER APPLICATION ON THE CONCRETE SURFACE.
- PREFORMED EXPANSION JOINTS SHALL MEET MNDOT 3702, AND SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: AT THE BEGINNING AND END OF ALL CURB AND GUTTER RADI, WHERE NEW CONCRETE SURROUNDS, ADJOINS, OR ABUTS ANY EXISTING FIXED OBJECTS SUCH AS FIRE HYDRANTS, BUILDING FOUNDATIONS, CONCRETE ROVERWAYS, SIDEWALKS, AND OTHER RIGID STRUCTURES. AFTER EACH LOAD OF CONCRETE WHEN PLACING CURB AND EVERY 100 FEET WHEN PLACING SIDEWALK. CONTRACTION JOINTS WILL NOT BE SEALED BUT WILL BE REQUIRED AT A SPACING OF 10 FEET ON CURB AND GUTTER AND ON SIDEWALK CONSTRUCTION AS SHOWN ON THE PLAN. CONTRACTION JOINTS WILL BE CUT TO A DEPTH 1/3 THE THICKNESS OF THE CONCRETE, SURFACE AND BACK OF ALL CURBS. CONTRACTION JOINTS SHALL BE PLACED SO THAT NO SLAB IS LARGER THAN 100 SQUARE FEET IN AREA. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING CONTRACTION JOINTS THAT PREVENT CONCRETE FROM CRACKING AT OTHER LOCATIONS.

- CONCRETE TESTING INCLUDING SLUMP, AIR ENTRAINMENT, TEMPERATURE AND COMPRESSIVE STRENGTH SHALL BE PERFORMED ON THE FIRST LOAD OF THE DAY FOR ALL CONCRETE POURS OF AT LEAST A CUBIC YARDS. AN ADDITIONAL TEST SHALL BE PERFORMED FOR EACH 100 CUBIC YARDS OR PORTION THEREOF.
- AGGREGATE BASE FINAL SHAPING AND COMPACTION OF THE AGGREGATE BASE SHALL BE DONE JUST PRIOR TO CONSTRUCTION OF THE PLANT MIX BITUMINOUS SURFACE. THE FINISHED SURFACE OF THE BASE SHALL SHOW NO VARIATION GREATER THAN 1/2 INCH FROM A TEN (10) FOOT STRAIGHT EDGE.
- PLANT MIXED BITUMINOUS MIXTURE SHALL BE SPREAD WITHOUT SEGREGATION, AT THE SPECIFIED RATE TO THE CROSS SECTION SHOWN IN THE PLANS AND PER MNDOT 3151.
- THE THICKNESS OF EACH BITUMINOUS COURSE SHALL BE WITHIN 1/4 INCH OF THE THICKNESS AS SHOWN ON THE PLANS. THE TOTAL THICKNESS OF ALL BITUMINOUS COURSES SHALL BE WITHIN 1/2 INCH.
- ADJUST ALL SURFACE COURSES TO NOT GREATER THAN 1/4 INCH ABOVE ADJACENT CURB FRONT EDGES WHERE WATER FLOWS TO CURB, AND FLUSH WHERE WATER FLOWS AWAY FROM CURB, OR 1/2" ABOVE MANHOLE FRAMES, VALVE BOXES OR OTHER FIXED STRUCTURES.
- PRIOR TO CONSTRUCTING THE BITUMINOUS BINDER AND/OR WEARING COURSES, THE CONTRACTOR SHALL SWEEP THE PARKING LOT. THE SWEEPER SHALL BE A SELF-PROPELLED PICK-UP (WITH WATER) SWEEPER. A SIDE-THROW SWEEPER WILL NOT BE ALLOWED.
- TACK COAT SHALL CONFORM TO MNDOT 2357.2.A.
- BITUMINOUS PAVEMENTS SHALL BE COMPACTED TO 92% OF THE MAXIMUM THEORETICAL DENSITY. THE OWNER MAY AT THEIR OPTION PERFORM AGGREGATE AND BITUMINOUS TESTING. THE COST OF ALL FALLING TESTS MAY BE BACK-CHARGED TO THE CONTRACTOR.

LEGEND

- HEAVY DUTY BITUMINOUS
- CONCRETE WALK

1 GRADING PLAN
1" = 30'



901 N 3rd STREET, SUITE 120
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Stephen M. Johnson

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Date: 08/08/2016 Reg No: 10814
Sheet Title

GRADING PLAN

Scale: 1" = 30' Sheet Number: C3.1
Date: 08/08/2016
Comm No: BAK16006
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Project Name / Location	
Project Name	Coon Rapids Honda
Project Address	10202 Goldenrod St. NW, Coon Rapids, MN 55433
Property ID	24-31-24-43-0055
Latitude / Longitude	45.1559, 93.2764
Project Type	Commercial / Industrial

Contacts		
Owner	Contractor (Operator)	Preparer
Carousel Motor Group, LLC (Formerly TCA Real Estate, LLC)	TBD	Steve Johnston, PE
Wayne Pisinski		Élan Design Lab, Inc.
60 S. Sixth Street		901 N 3 rd St. #120
Minneapolis, MN 55402		Minneapolis, MN 55401
952-303-7531		612-260-7982
WPisinski@carouselmotor.com		sjohnston@elanlab.com

General SWPPP Responsibilities

The Contractor (Operator) shall provide a knowledgeable and experienced person(s) to oversee the implementation of the SWPPP and the installation. Inspection and maintenance of the erosion and sediment control BMP's before and during construction. Training must be in conformance with the NPDES Construction Permit requirements. Training documentation must be kept on-site with the SWPPP and the trained person must be available on-site within 72 hours.

Both the Owner and Contractor (Operator) shall be responsible for the proper termination and/or transfer of the permit.

The owner will be responsible for the long term operation and maintenance of the permanent storm water management system(s).

Unless specifically stated, the engineer shall have no responsibility for any SWPPP activities during or after construction.

Project Description

The project consists of the construction of a new automobile dealership and associated parking lot on a property that is presently vacant.

Condition	Pervious Area	Impervious Area
Existing Site	255,286 SF (5.86 Acres)	2,970 SF (0.07 Acres)
Developed Site	63,646 SF (1.46 Acres)	194,610 SF (4.47 Acres)

The Coon Creek Watershed District ("CCWD") and Minnesota Pollution Control Agency ("MPCA") require the first 1.1 inches of runoff to be infiltrated. Thus the required storage volume in the infiltration basins shall equal 17,680 ft³.

Soils

The geotechnical report prepared for the project by Braun Intertec is hereby incorporated into the SWPPP. The USDA NRCS mapping indicates the following soils are prevalent on the site:

Map Unit Symbol	Map Unit Name	Hydrologic Soil Group	Percentage of Site
LnA	Lino loamy fine sand	A/D	58.5%
Ma	Markey muck	A/D	33.8%
SbB	Sartell fine sand	A	5.2%
ZmB	Zimmerman fine sand	A	2.4%

Receiving Waters

Water Body ID	Name of Water Body	Type	Special Water	Impaired Water
Ditch	Unnamed	manmade	no	no
Wetlands	Unnamed	wetland	no	no

There are no wetlands on the site and no direct wetland impacts anticipated by this project.

Project Plans

The following plan sheets are hereby incorporated into this SWPPP

Sheet Number	Description	Date
C3.1	Grading Plan	
C3.3	Erosion Control Plan	
C4.1	Utility Plan	
C5.1	Erosion Control Details	
L2.1	Landscape Plan	

Related Reviews and Permits

Agency	Type of Permit or Review	Status
City of Coon Rapids	Site Plan Review, Grading Permit	Pending
Coon Creek Watershed	Stormwater Management, Erosion Control	Pending
MPCA	NPDES Site Construction	Submitted

Stormwater Management System Overview

The parking lot surface drains to 3 infiltration basins. The building drains to the largest of the three basins via pipes. The two smaller basins overflow to the largest infiltration basin which overflows to a rate control pond. The outlet from the rate control pond flows to the ditch in the Highway 10/47 right

of way. The discharge rate is limited by a 12" orifice in the outlet control structure which is set 2.35 feet above the bottom of the pond providing additional infiltration. If this outlet were to be blocked the runoff can overflow through the open grated outlet control structure or top the berm between the pond and highway ditch.

The bottom of the large infiltration practice has been established at elevation 887.0. The soil borings in the area poorly graded sand with silt (SP-SM). And groundwater between 886.7 in the south and 883.2 in the north. Due to concerns with proximity of groundwater to the bottom of the practice it is proposed to install a perforated 6" PVC underdrain with valves 4 feet below the basins. Opening the valve will allow the basins to function as filtration systems if infiltration proves to be infeasible.

Erosion Prevention Measures - General

The Contractor (Operator) is responsible for all erosion prevention measures for the project including but are not limited to the following:

- The Contractor (Operator) shall plan and implement appropriate construction practice and construction phasing to minimize erosion and retain vegetation whenever possible
- All areas not to be disturbed shall be delineated with flags, stakes, signs, or other means necessary to protect these areas before construction begins on the site.
- All drainage ditches and/or swales shall have temporary or permanent stabilization within 24 hours of connecting to a surface water or 24 hours after construction activity in the ditch/swale has temporarily or permanently ceased.
- All pipe outlets shall have temporary or permanent energy dissipation within 24 hours of connecting to a surface water.
- All exposed soils shall be stabilized as soon as possible to limit soil erosion. In no case shall un-worked areas, including stock piles, have exposed soils for more than 14 days with providing temporary or permanent stabilization. (7 days for projects with a receiving water that is impaired or special)

Sediment Control Measures and Timing - General

The Operator (Contractor) is responsible for all sediment control measures for the project. Sediment control measures include but are not limited to the following:

- Sediment control measures shall be established on all down gradient perimeters before any up-gradient land disturbing activities begin. These measures shall remain in place until final stabilization has been established.
- On slopes with 3:1 or steeper grades there shall be no unbroken slope length greater than 75 feet.
- All storm drain inlets and culvert inlets shall be protected by an appropriate BMP during construction until all sources with potential for discharging to the inlet has been stabilized. Inlet and culvert protection shall conform to the MnDOT Specifications 2573 and 3891.
- Stock piles shall be provided with an effective sediment perimeter control and shall not be placed in any type of surface water or drainageway.
- Vehicle tracking shall be minimized with effective BMP's. Where the BMP's fail to prevent sediment from tracking onto streets the Contractor shall conduct street sweeping to remove all tracked sediment.
- The Operator is responsible for identifying the need for temporary sediment basins based on actual field conditions to protect downstream resources. Temporary sediment basins shall be constructed before up gradient vegetation is disturbed and maintained until the risk of damage to downstream resources is mitigated by other means.

Dewatering and Basin Draining Activities - General

The Operator is responsible for adhering to all dewatering and surface drainage regulations, including but not limited to the following:

- Whenever possible water from dewatering activities shall discharge to a temporary and/or permanent sediment basin.
- If water cannot be discharged to a sedimentation basin, it shall be treated with other appropriate BMP's, to effectively remove sediment.
- All discharge points shall be protected from erosion and scour.
- Discharge water shall be dispersed over an effective energy dissipation measure.
- All water from dewatering shall be discharged in a manner that does not cause nuisance conditions, erosion, or inundation of wetlands. Water shall not be discharged to adjacent residential properties. It must be discharged to the public street.

Final Stabilization - General

The Operator is responsible for ensuring final stabilization of the site, including but is not limited to the following:

- All soil disturbing activities have been completed.
- All exposed soils have been uniformly stabilized with at least 80% vegetation coverage.
- All drainage ditches, ponds and all storm water conveyance systems have been cleared of sediment and stabilized to preclude erosion.
- All temporary BMP's have been removed and properly disposed.
- Final stabilization shall be performed in accordance with MnDOT Specification 2515.

Temporary Sediment Basin

Until permanent vegetation is established in the infiltration basins it is proposed to utilize a temporary ditch and the rate control pond as a temporary sediment basin. The ditches shall be dug parallel to the north and west curb lines with the low point at the rate control pond. Once the infiltration basins are fully stabilized with permanent vegetation, and just prior to paving the parking lot the ditch can be filled.

The temporary basin has been sized based on the following criteria. Drainage area 5.4 acres SF, C = 0.65 (partial site disturbance), 1" storm produces 12,750 CF of runoff which is equal to the pond volume below the outlet. Greater events will discharge through the outlet pipe to the highway ditch.

Construction Sequencing

Contractor shall comply with the following sequence. The Contractor may make adjustments to the sequence if needed to address actual field conditions as long as sediment is retained on site, the infiltration areas are protected from construction traffic and permanent vegetation is established before runoff is allowed to enter the infiltration basins.

- Install silt fence or Bio-logs along the street frontage. Install silt fence as a construction limit along the north and east property lines. The highway fence establishes the construction limit along the south/west property line.
- Install rock construction entrance. Location may be adjusted in the field based on direction from owner's representative.
- Install inlet control devices on Goldenrod and 102nd.
- Strip topsoil from stormwater management areas, salvaging the best quality for reuse and removing the balance from the site.
- Excavate the rate control pond and infiltration basins.
- Install silt fence 3 feet behind future curb lines.
- Excavate temporary ditch on the parking lot side of the future curb lines. Place excavated material between the ditch silt fence protecting infiltration basins.
- Install storm sewer, underdrains and energy dissipation (Rip Rap).
- Seed stormwater management area with permanent seed mixture and nurse crop. INTERIM STORMWATER MANAGEMENT SYSTEM SHOULD NOW BE FULLY FUNCTIONAL.
- Strip topsoil from building area, salvaging best quality for reuse. Remove balance from the site. Delay removing vegetation from the parking areas until just prior to parking lot construction.
- Begin building construction.
- Install utilities.
- Once vegetation is established in stormwater management area, remove trees, and balance of topsoil.
- Grade parking lot removing temporary ditch.
- Install curb and first lift of pavement.
- Remove silt fence from behind curb and backfill curb.
- Install sod, trees, shrubs, signs, bollards and other landscape materials.
- Remove silt fence along property lines.
- Seed or sod all remaining disturbed areas.
- Pave wear course and stripe stalls.
- Monitor vegetation and replace as needed until fully established.
- File NPDES Notice of Termination ("NOT") with MPCA within 30 days of final stabilization.

Inspection and maintenance

All inspections, maintenance, repairs, replacements and removal are to be considered incidental to the BMP bid items.

The Contractor (Operator) is responsible for completing required inspections maintenance and observation of weather conditions and rainfall amounts to ensure compliance with the permit requirements. The Contractor (Operator) shall observe the construction site once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.

The Contractor (Operator) shall keep a summary maintenance/construction observation report to be recorded after each site visit/observation. The Contractor (Operator) shall submit a copy of the written inspections monthly to the Owner. Records shall include the following:

- Date and time of inspections
- Name of person conducting inspection
- Findings and recommendations for corrective actions if necessary
- Corrective actions taken
- Date and amount of rainfalls greater than 0.5 inches in 24 hours
- Mention of any changes made to the SWPPP
- A site map indicating active construction areas and land disturbing activities.

The Contractor (Operator) must keep the SWPPP, all inspection reports and amendments onsite. The Contractor (Operator) shall designate a specific location to keep the records whenever construction activity is in progress.

All erosion prevention and sedimentation control BMP's must be inspected to ensure integrity and effectiveness. All nonfunctional BMP's must be repaired, replaced or supplemented with functional BMP's. The Contractor (Operator) must investigate and comply with the following inspection and maintenance requirements:

- All sediment barriers including silt fence, bio-logs, and similar devices must be repaired replaced or supplemented when they become nonfunctional or the sediment reaches 1/3 of the barrier height. These repairs shall be made within 24 hours of discovery.
- Temporary and permanent sediment basins must be drained and the sediment removed when the depth of sediment collected in the basin reaches 1/2 the storage volume. Drainage and removal must be completed within 72 hours of discovery.
- Surface waters, including drainage ditches and conveyance systems, must be inspected for evidence of erosion and sediment deposition. The Operator shall remove all deltas and sediment deposited in surface waters, including drainage ways, catch basins, and other drainage systems. The Operator shall re-stabilize the areas where sediment removal results in exposed soil. Removal and stabilization must take place within 7 days of discovery, unless precluded by legal, regulatory or physical constraints. The Contractor (Operator) is responsible for contacting all local, regional, state and federal authorities and receiving any applicable permits, prior to conducting any work.
- Construction site vehicle exit locations shall be inspected daily for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces within 24 hours of discovery.
- The Contractor (Operator) is responsible for the operation and maintenance of temporary and permanent water quality BMP's. As well as erosion and sediment control BMP's for the duration of the construction work at the site.
- If sediment escapes the construction site off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
- All filtration areas must be inspected to ensure that no sediment from ongoing construction activities is reaching the filtration areas and these areas are protected from compaction due to construction equipment driving across the filtration area.

Pollution Prevention Management Measures

The Contractor (Operator) shall be responsible for all pollution prevention management measures. The Contractor (Operator) is responsible for informing all visitors and/or personnel on-site of the pollution prevention management measures.

All pollution prevention management measures are to be considered incidental to the overall project bid, unless otherwise noted. Pollution prevention management measures include but are not limited to the following:

- The Contractor (Operator) is responsible for the proper disposal, in compliance with MPCA disposal requirements, of all solid or liquid waste and hazardous materials on-site.
- Concrete trucks shall not be allowed to wash out or discharge surplus concrete or drum wash water on-site, unless done in an engineered leak-proof containment system. The engineered system provided by the Contractor (Operator) must include site drawings for the project file and written assurance that the system will work as designed and leave no discharge of concrete or concrete residue potential to waters of the state during a minimum of a 100-year storm event. A sign must be installed adjacent to each washout system to inform concrete equipment Operators to utilize the proper facilities. The concrete washout containment system and all related items shall be considered incidental to the project bid.
- All nonhazardous waste materials shall be collected and stored in a securely lidded metal dumpster or other approved containment method at the end of each day. Any alternative to a metal dumpster must be submitted in writing for approval by the project engineer. The dumpster shall be emptied as necessary to function as intended for debris collection. No construction garbage or waste material shall be buried on-site.
- A licensed sanitary waste management Contractor shall collect all sanitary waste from the portable units at a rate necessary to maintain designed function.
- All fertilizers shall be stored in a covered shelter. Partially used bags shall be transferred to a sealable bin to reduce the chance of spillage.
- External washing of trucks and other construction vehicles and engine degreasing are prohibited at the construction site. All vehicles on-site shall be monitored for leaks and receive regular prevention maintenance to reduce the chance of leakage. Petroleum products shall be stored in tightly sealed containers. Which are clearly labeled. Spill kits shall be included with all fueling sources and maintenance activities. Secondary containment measures shall be installed and maintained by the Operator.
- Any asphalt substances used on-site shall be applied in accordance with manufacturer's recommendations.
- All paint containers and curing compounds shall be tightly sealed and stored when not required for use. Excess paint and/or curing compounds shall not be discharged into the storm sewer system and shall be properly disposed of according to manufacturer's instruction.
- Materials and equipment necessary for spill clean-up shall be kept in an enclosed trailer or shed on-site. Equipment shall include, but not limited to, brooms, mops, dust pans, rags, gloves, goggles, absorbent (kitty litter) oil absorbent booms and diapers and buckets.
- All spills shall be contained and cleaned up immediately upon discovery. Spills large enough to reach the storm water conveyance system shall be reported to the Minnesota duty officer at 1 800-422-0798.

Quantities

Practice	Detail / Spec.	Unit	Quantity
Standard Silt Fence	17/CS.1	LF	2,535
Heavy Duty Silt Fence	13/CS.1	LF	960
Bio Log	14/CS.1	LF	25
Rock Construction Entrance	15/CS.1	Each	1
Inlet Protection - Standard	18/CS.1	Each	4
Erosion Control Seed Mix 21-111	MnDOT 2575	SY	As Needed
Infiltration Basin Seed Mix 33-261	MnDOT 2575	SY	1,620
Mexic General Roadside Seed Mix 25-141	MnDOT 2575	SY	1,550
Fiber Blanket	MnDOT 3885	SY	2,492
Hydro Mulch	MnDOT 3882	SY	As Needed
Sod	MnDOT 3878	SY	2,710

Post Construction Operation and Maintenance

Infiltration basin shall be monitored after each rainfall of 0.5" or greater to verify basin is dry with 48 hours or less.

Infiltration soil performance shall be periodically inspected through cleanouts to confirm infiltration is occurring. Contact engineer if standing water is observed in pipe.

Forebay shall be inspected for sediment accumulation after the spring melt. Owner is strongly encouraged to vacuum sweep entire lot each spring before spring rains wash sediment into forebay. Sediment shall be removed from forebay every 2 to 7 years or after 25% of total forebay capacity has been lost.

Sediment excavated from the stormwater system should be tested to verify proper means of disposal.

The entire stormwater management area and wetland buffer should be mowed every other year to prevent voluntary tree growth.

Amendments to the SWPPP

The SWPPP will be amended as needed and/or as required by provisions of the permit. Amendments will be approved by both the Owner and Contractor (Operator) and will be attached to the SWPPP as an additional sheet. The SWPPP and amendments will be kept on site by the Contractor (Operator) whenever construction activity is in progress.

BA

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Honda of
Coon Rapids

Coon Rapids, MN

New Construction

Issued:

Site Plan Review
Revision
City Comments

Élan
DESIGN LAB

901 N 3rd STREET, SUITE 120
MINNEAPOLIS, MN 55401
p 612.260.7980 www.elanlab.com
f 612.260.7980

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Stephen M. Johnson

NOT FOR CONSTRUCTION

Date: 08/08/2016 Reg No: 18914
Sheet Title

SWPPP NOTES

Scale: PER SHEET
Date: 08/08/2016
Comm No: BAK16006
Sheet Number: C3.2
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INFILTRATION BASIN TESTING
 CONTRACTOR SHALL CONDUCT A POST CONSTRUCTION TEST ON THE INFILTRATION BASINS BY FILLING THE BASINS TO A MINIMUM DEPTH OF 6 INCHES WITH WATER AND MONITOR THE TIME NECESSARY TO DRAIN. ALTERNATIVE METHODS MAY BE ACCEPTABLE IF APPROVED BY COON CREEK WATERSHED DISTRICT. CONTRACTOR SHALL NOTIFY ENGINEER, CITY ENGINEER AND COON CREEK WATERSHED DISTRICT 48 HOURS PRIOR TO THE TEST TO FACILITATE OBSERVATION OF TEST RESULTS.

LEGEND

- SILT FENCE
- HEAVY DUTY SILT FENCE
- BIO ROLL SEDIMENT CONTROL
- STORM STRUCTURE PROTECTION
- TEMPORARY DITCH
- ▨ SOD & LANDSCAPE PLANTING
- ▨ MNDOT MIXTURE 33-261 STORMWATER SOUTH & WEST BROADCAST SEEDING TEMPORARY - MIXTURE 21-111 OATS COVER CROP SEEDING RATE PLS 35 LBS/AC.
- ▨ MNDOT MIXTURE 25-141 MESIC GENERAL ROADSIDE BROADCAST SEEDING TEMPORARY - MIXTURE 21-111 OATS COVER CROP SEEDING RATE PLS 59 LBS/AC.
- ▨ FIBER BLANKET (ALL SEEDED SLOPE >3:1)

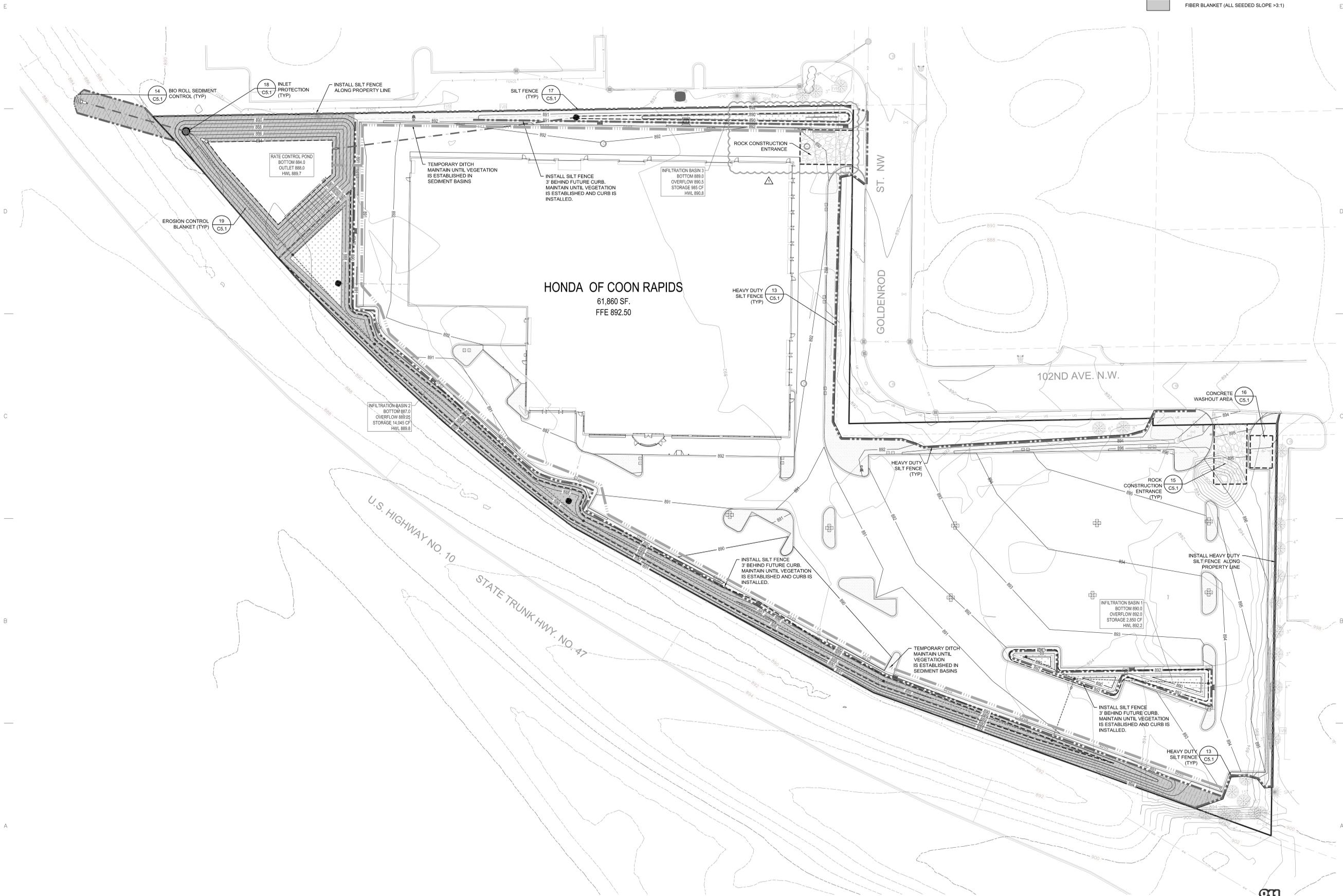
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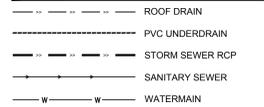
NOT FOR CONSTRUCTION

Date: 08/08/2016 Reg No: 10814
 Sheet Title:

EROSION CONTROL PLAN

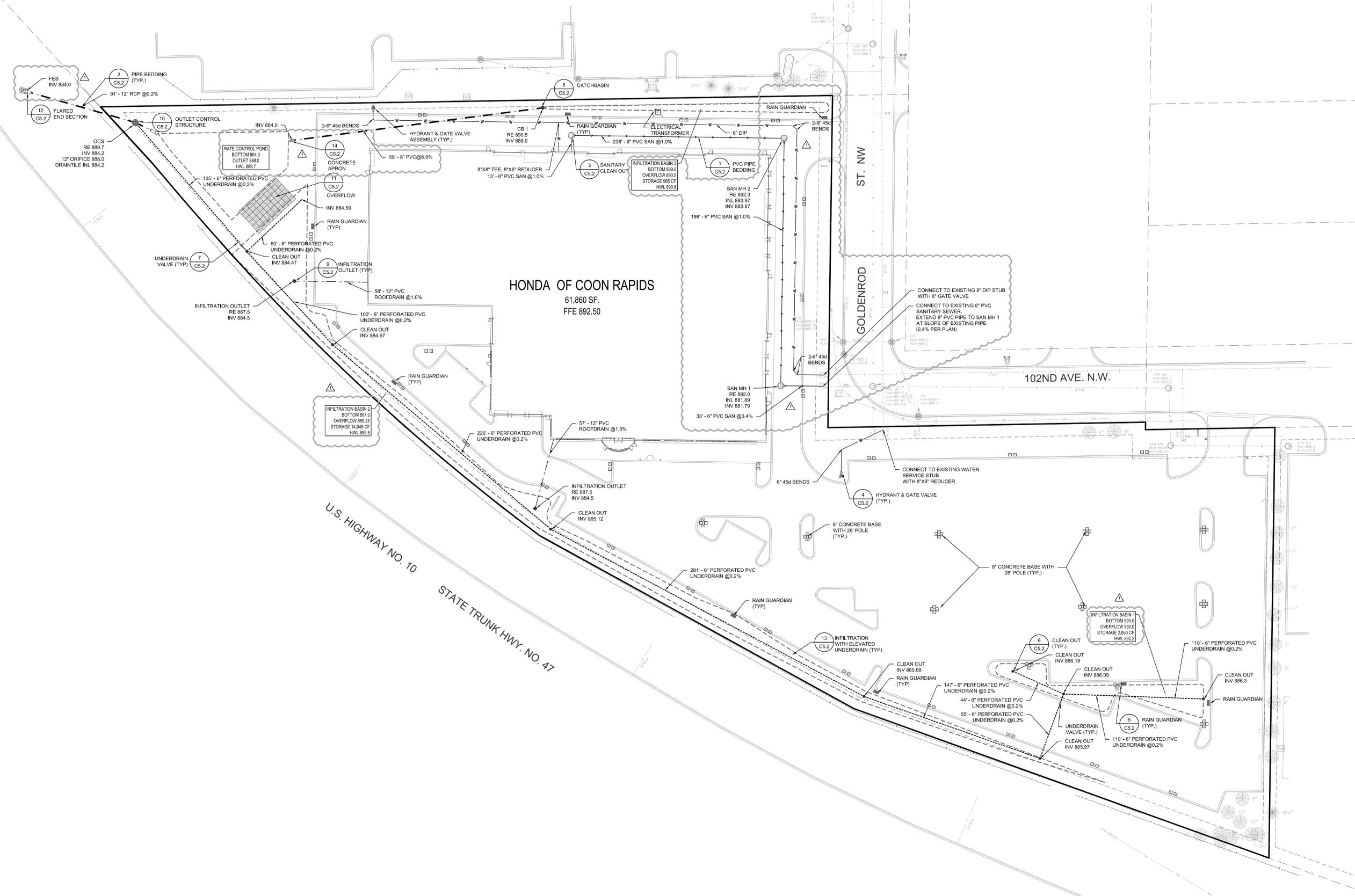
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 Date: 08/08/2016
 Comm No: BAK16006
 Sheet Number: **C3.3**
 © 2016

LEGEND



UTILITY NOTES

1. VERIFY ALL CONNECTIONS TO EXISTING UTILITY SERVICES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN LOCATED UTILITIES AND THE EXISTING CONDITIONS PLAN SHOULD BE NOTED AND FORWARDED TO THE ENGINEER.
2. CONTRACTOR TO PROVIDE ADEQUATE MEANS AND METHODS TO ASSURE ADJACENT PROPERTY IS NOT DAMAGED DURING UTILITY INSTALLATION.
3. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. UTILITY SERVICE LOCATIONS WITHIN BUILDING ARE SHOWN CORRECT AS OF THE DATE OF THIS PLAN. THE CONTRACTOR SHALL VERIFY LOCATIONS BY COMPARING THIS PLAN WITH THE MECHANICAL PLANS PRIOR TO ANY UTILITY CONSTRUCTION.
5. PIPE MATERIALS: (TO BE VERIFIED)
 - WATERMAIN 6" DIP CLASS 52
 - SAN SEWER 6" PVC SDR 35
 - STORM SEWER 6" HDPE, 8" PVC, & 12" RCP
 - ROOF DRAINS 12" PVC SDR 26
6. ALL UTILITY CONSTRUCTION TO CONFORM WITH STATE, CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM) AND CITY OF COON RAPIDS STANDARD SPECIFICATIONS.
7. ADJUST ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES BEING RESET TO PAVED AREAS TO MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
8. MAINTAIN 7.5' COVER ON ALL NEW WATERMAIN
9. PILE SUPPORTED UTILITY LIMITS MUST BE DETERMINED AT FINAL DESIGN.
10. CONNECTION TO EXISTING MANHOLE WILL REQUIRE THE REMOVAL AND REPLACEMENT OF EXISTING CURB, PAVEMENT AND OTHER IMPROVEMENTS. CONTRACTOR TO WORK INSIDE OF A DOUBLE BOX TO MINIMIZE DISTURBANCE. SUPPORT EXISTING UTILITIES. ACCESS TO EXISTING CENTER TO BE RESTORED AS QUICKLY AS POSSIBLE. EXCAVATION TO BE BACKFILLED BY THE END OF THE WORK DAY AND THE DRIVEWAY REOPENED WITH A GRAVEL SURFACE. CURB AND PAVEMENT RESTORATION MUST BE COMPLETED WITHIN 5 WORKING DAYS.



1 UTILITY PLAN
1" = 30'

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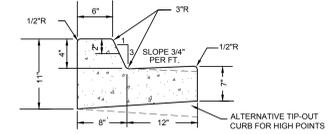
NOT FOR CONSTRUCTION

Date: 08/08/2016 Reg No: 18914
Sheet Title: UTILITY PLAN

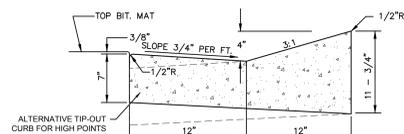
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Date: 08/08/2016	Comm No: BAK16006
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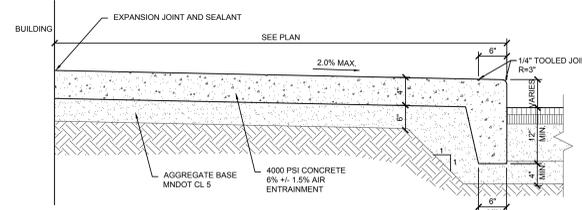
CONTROL JOINTS SHALL CONFORM WITH MNDOT SPEC. 2531.3C. (10' SPACING) CONTROL JOINTS SHALL EXTEND TO BOTH THE FRONT AND BACKS OF THE CURB AND BE 2" DEEP.



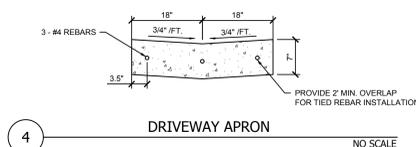
1 B412 CONCRETE CURB & GUTTER (MODIFIED B612) NO SCALE



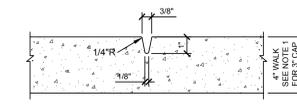
2 D412 CONCRETE CURB & GUTTER NO SCALE



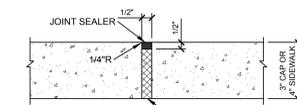
3 INTEGRAL CURB & WALK NO SCALE



4 DRIVEWAY APRON NO SCALE

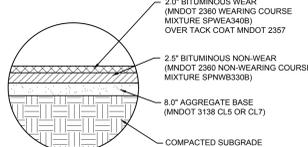


TOOLED CONTROL JOINT
SPACING: 4' WALK - 4' C/C
5' WALK - 5' C/C
6' WALK - 6' C/C
3" THICK CONCRETE CAP: 10'X10' MAX

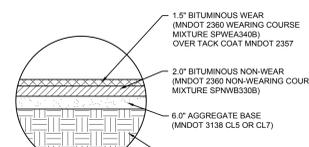


EXPANSION JOINT
MAXIMUM SPACING 120'. ALSO USE WHEN ABUTTING BUILDINGS.

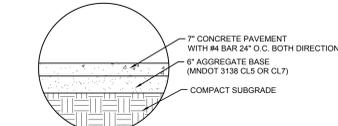
8 SIDEWALK JOINT NO SCALE



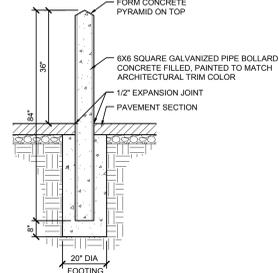
5 HEAVY DUTY BITUMINOUS PAVEMENT NO SCALE



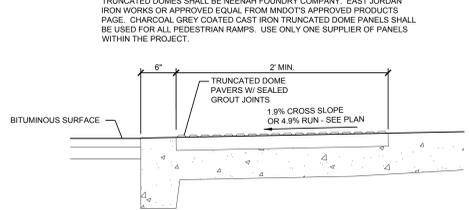
6 BITUMINOUS PAVEMENT SECTION NO SCALE



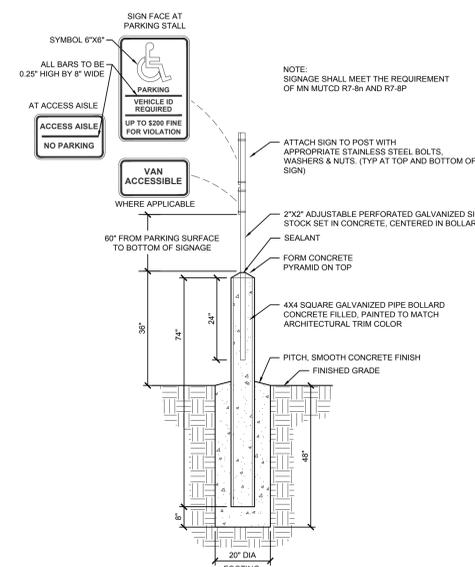
7 CONCRETE PAVEMENT SECTION NO SCALE



9 BOLLARD NO SCALE

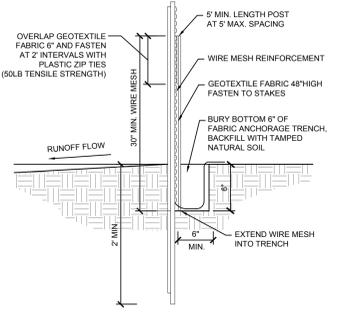


10 DETECTABLE WARNING NO SCALE

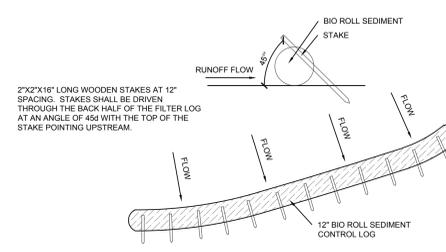


11 ACCESSIBILITY SIGNAGE NO SCALE

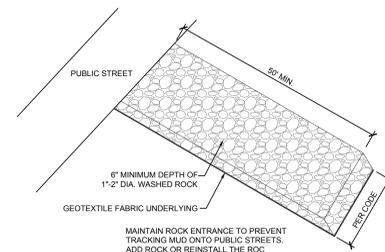
12 NOT USED



13 HEAVY DUTY SILT FENCE NO SCALE



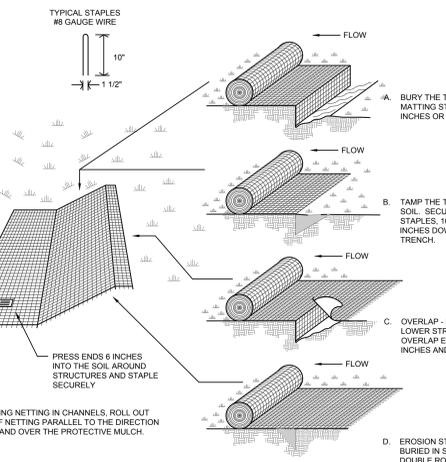
14 BIO ROLL SEDIMENT CONTROL NO SCALE



15 ROCK CONSTRUCTION ENTRANCE NO SCALE

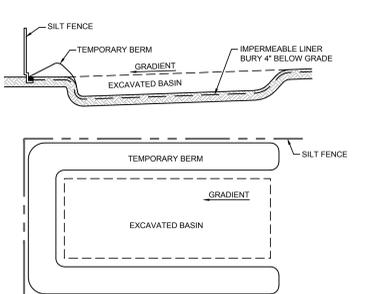
1. APPLY LIME, FERTILIZER AND SEED BEFORE LAYING THE NET OR MAT.
2. START LAYING THE NET FROM THE TOP OF THE CHANNEL OR SLOPE AND UNROLL IT DOWN THE GRADE. ALLOW NETTING TO LAY LOOSELY ON THE SOIL BUT WITHOUT WRINKLES. DO NOT STRETCH MAT OR BLANKET - TYPE PRODUCT SHOULD PROVIDE AT LEAST 30% COVERAGE OF THE SURFACE WHERE IT IS APPLIED.
3. TO SECURE THE NET, BURY THE UPSLOPE END IN A SLOT OR TRENCH NO LESS THAN 6 INCHES DEEP. COVER WITH SOIL AND TAMP FIRMLY AS SHOWN. STAPLE THE NET EVERY 12 INCHES ACROSS THE TOP END AND EVERY 3 FEET AROUND THE EDGES AND BOTTOM. WHERE 2 STRIPS OF NET ARE LAID SIDE BY SIDE, THE ADJACENT EDGES SHOULD BE OVERLAPPED 3 INCHES AND STAPLED TOGETHER. EACH STRIP OF NETTING SHOULD ALSO BE STAPLED DOWN THE CENTER EVERY 3 FEET. DO NOT STRETCH THE NET WHEN APPLYING STAPLES.
4. TO JOIN TWO STRIPS, CUT A TRENCH AND ANCHOR THE END OF THE NEW NET. OVERLAP THE END OF THE PREVIOUS ROLL 18 INCHES, AS SHOWN, AND STAPLE EVERY 12 INCHES JUST BELOW THE ANCHOR SLOT.

MAINTENANCE: INSPECT ALL MULCHES PERIODICALLY, AFTER RAINSTORMS TO CHECK FOR RILL EROSION, DISLOCATION, OR FAILURE. WHEN EROSION IS OBSERVED, APPLY ADDITIONAL MULCH. IF WASHOUT OCCURS, REPAIR THE SLOPE GRADE, RESEED, AND REINSTALL MULCH. CONTINUE INSPECTIONS UNTIL VEGETATION IS FIRMLY ESTABLISHED.

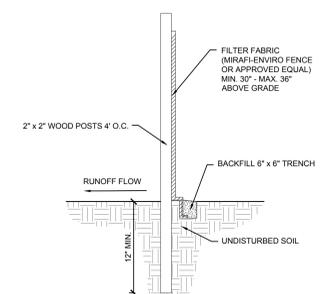


19 EROSION CONTROL BLANKET NO SCALE

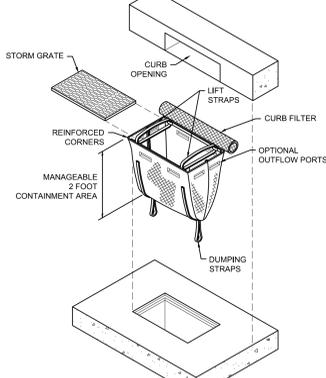
- EXCAVATED BASIN SHALL HAVE A MINIMUM 10 YARD CAPACITY.
- FOLLOWING CONSTRUCTION, OR WHEN 1/2 OF CAPACITY IS LOST, CONTRACTOR SHALL REMOVE ACCUMULATED CONCRETE FROM SITE AND DISPOSE OF AT PROPER FACILITY.
- PREFABRICATED BASIN MAY BE ACCEPTABLE. SUBMIT SPECIFICATIONS TO ENGINEER FOR APPROVAL.
- ALTERNATIVE CONCRETE WASHOUT DESIGNS WHICH FUNCTION IN AN EQUAL OR BETTER FASHION ARE ACCEPTABLE.



16 CONCRETE WASHOUT AREA NO SCALE

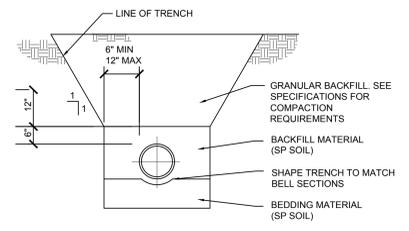


17 SILT FENCE NO SCALE

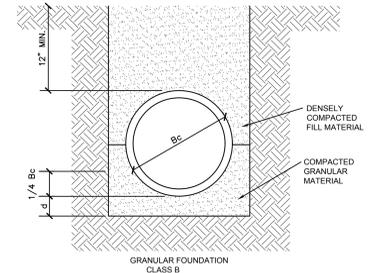


18 DANDY BAG INLET PROTECTION NO SCALE

- NOTES
- DIG A 6"X6" TRENCH ALONG THE INTENDED FENCE LINE.
 - DRIVE ALL POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
 - LAY OUT SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.
 - SPACE WOOD POSTS UP TO 4' APART TO SUPPORT THE FABRIC.
 - REMOVE SILT FENCE AFTER TURF IS ESTABLISHED.

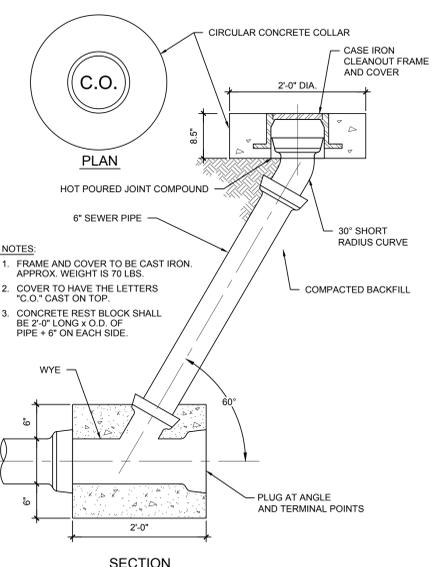


1 PVC PIPE BEDDING NO SCALE



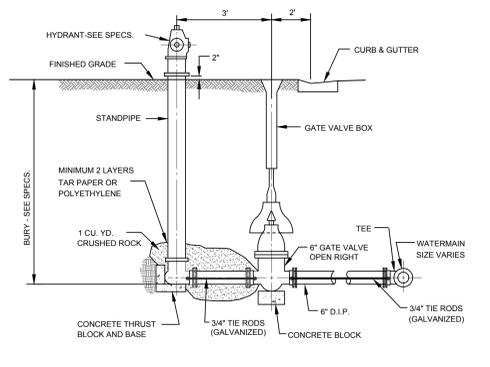
THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3\"/>

2 CLASS B PIPE BEDDING NO SCALE

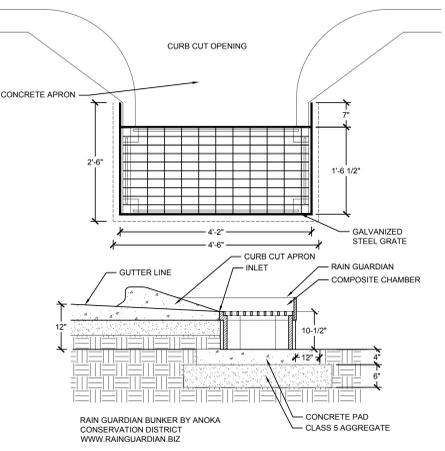


- NOTES:
1. FRAME AND COVER TO BE CAST IRON. APPROX. WEIGHT IS 70 LBS.
 2. COVER TO HAVE THE LETTERS \"C.O.\" CAST ON TOP.
 3. CONCRETE REST BLOCK SHALL BE 2\"/>

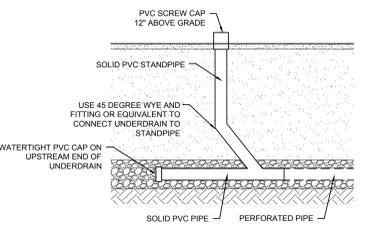
3 SANITARY SEWER CLEANOUT NO SCALE



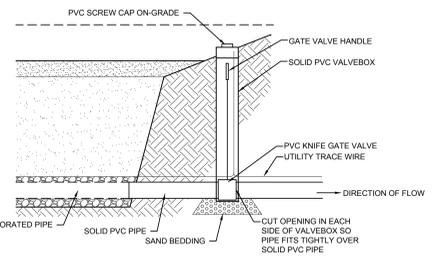
4 HYDRANT & GATE VALVE NO SCALE



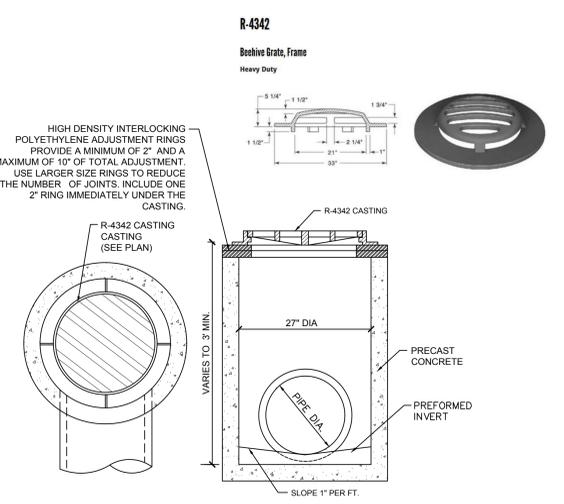
5 RAIN GUARDIAN NO SCALE



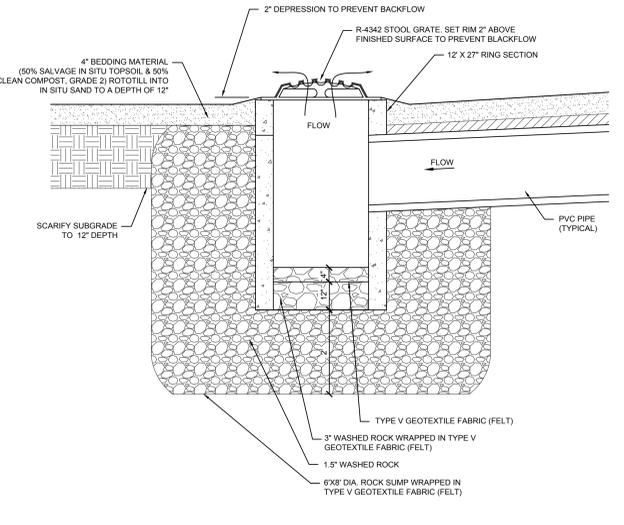
6 CLEANOUT NO SCALE



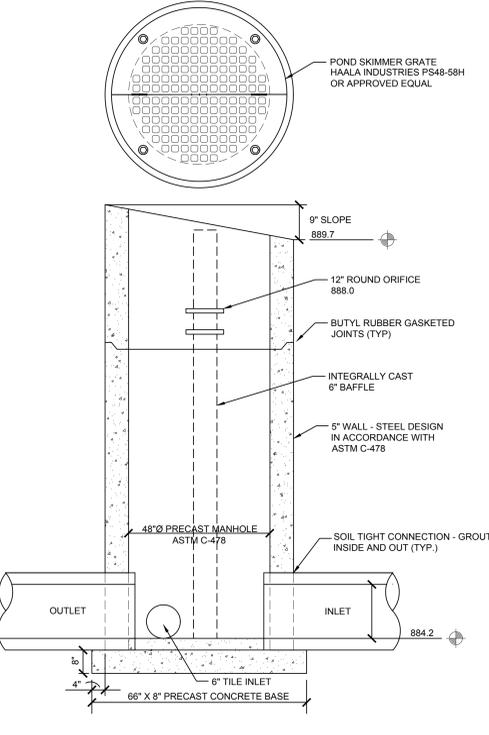
7 UNDERDRAIN VALVE NO SCALE



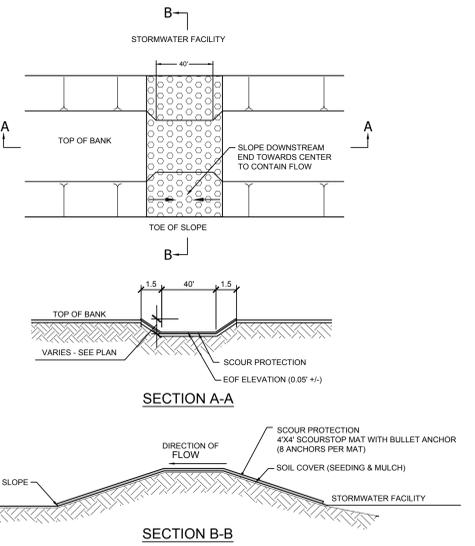
8 27\"/>



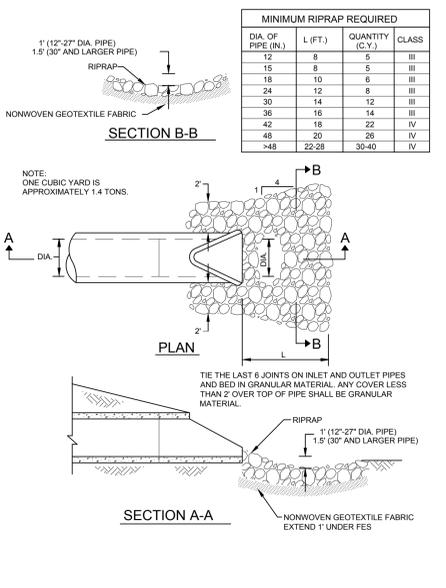
9 INFILTRATION OUTLET NO SCALE



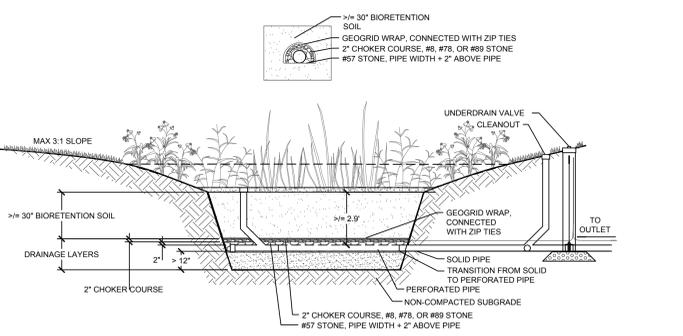
10 OUTLET CONTROL STRUCTURE NO SCALE



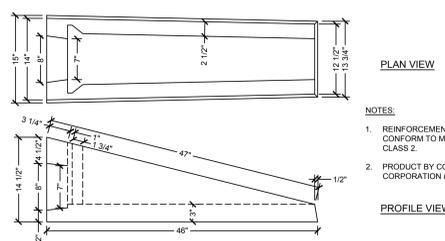
11 OVERFLOW NO SCALE



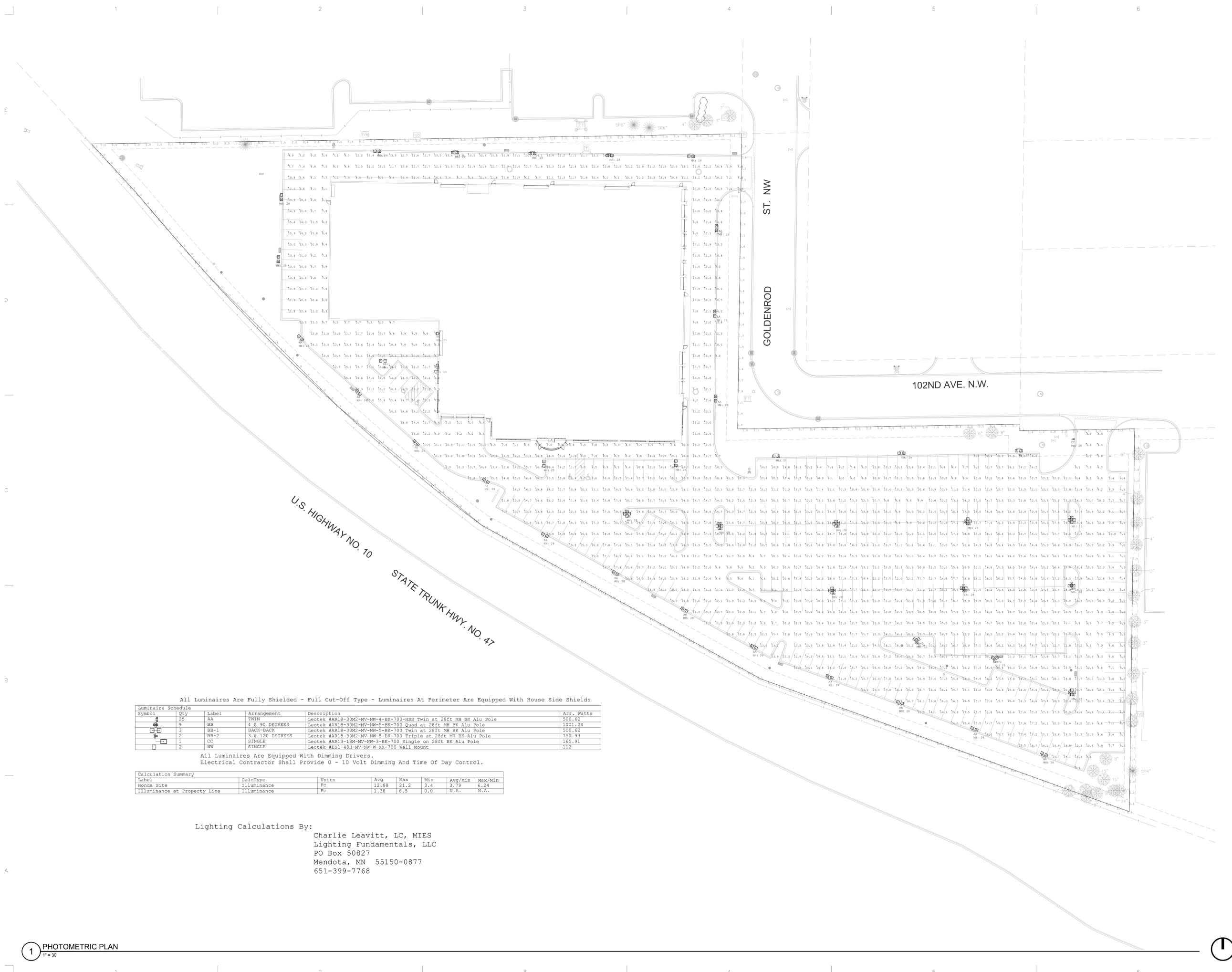
12 FLARED END SECTIONS NO SCALE



13 INFILTRATION WITH ELEVATED UNDERDRAIN NO SCALE



14 CONCRETE APRON NO SCALE



All Luminaires Are Fully Shielded - Full Cut-Off Type - Luminaires At Perimeter Are Equipped With House Side Shields

Symbol	Qty	Label	Arrangement	Description	Arr. Watts
AK	25	AK	TWIN	Leotek #AR18-30M2-MV-NW-4-BK-700-HSS Twin at 28ft MH BK Alu Pole	500.62
BB	9	BB	4 @ 90 DEGREES	Leotek #AR18-30M2-MV-NW-5-BK-700 Quad at 28ft MH BK Alu Pole	1001.24
BB-1	3	BB-1	BACK-BACK	Leotek #AR18-30M2-MV-NW-5-BK-700 Twin at 28ft MH BK Alu Pole	500.62
BB-2	2	BB-2	3 @ 120 DEGREES	Leotek #AR18-30M2-MV-NW-5-BK-700 Triple at 28ft MH BK Alu Pole	750.93
CC	1	CC	SINGLE	Leotek #AR13-104-MV-NW-3-BK-700 Single on 28ft BK Alu Pole	165.91
WW	2	WW	SINGLE	Leotek #ES1-48H-MV-NW-N-XX-700 Wall Mount	112

All Luminaires Are Equipped With Dimming Drivers.
Electrical Contractor Shall Provide 0 - 10 Volt Dimming And Time Of Day Control.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Honda Site	Illuminance	Fc	12.88	21.2	3.4	3.79
Illuminance at Property Line	Illuminance	Fc	1.38	6.5	0.0	N.A.

Lighting Calculations By:

Charlie Leavitt, LC, MIES
Lighting Fundamentals, LLC
PO Box 50827
Mendota, MN 55150-0877
651-399-7768

LANDSCAPE SUMMARY

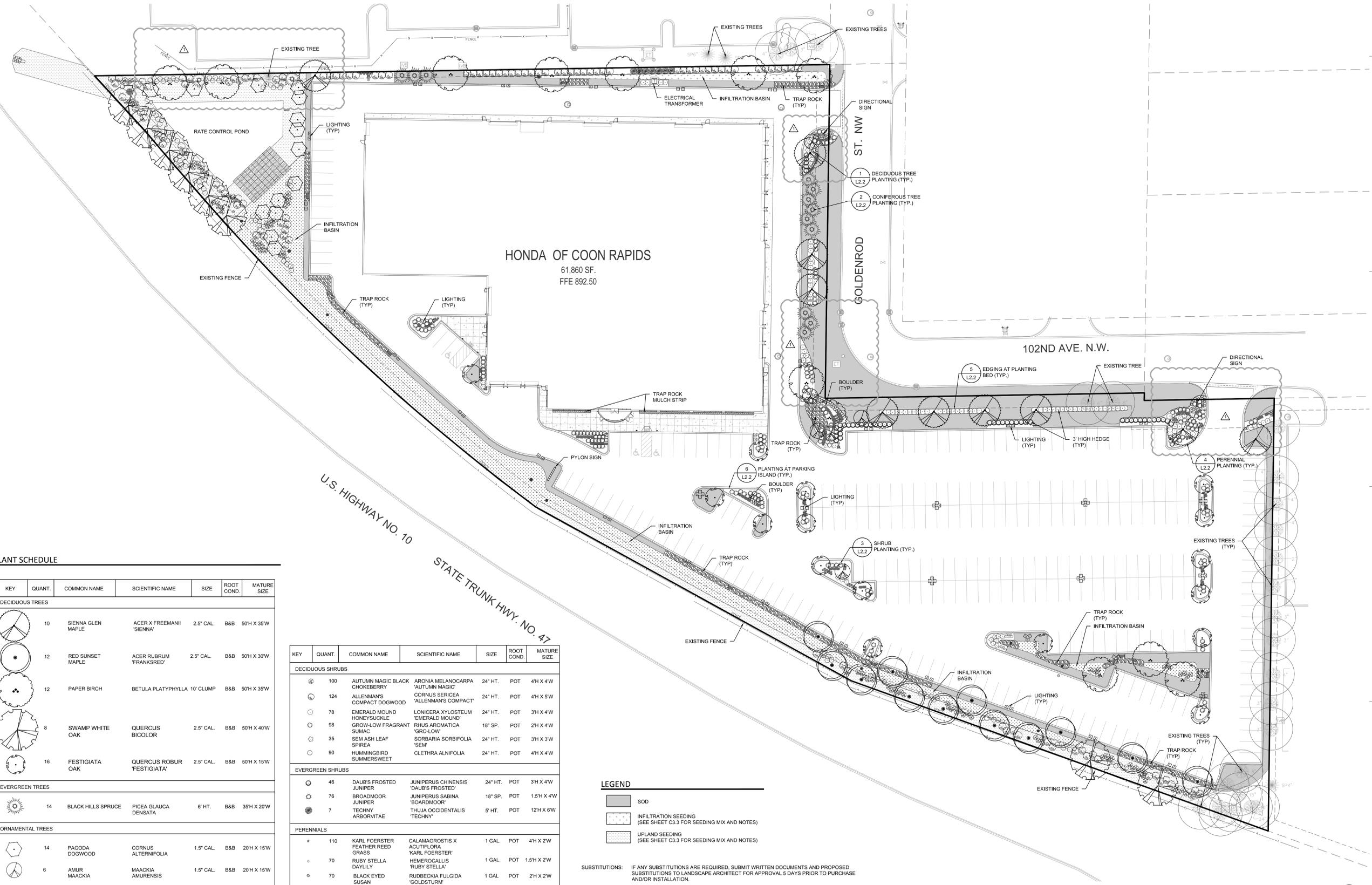
	REQUIRED	PROPOSED
STREET FRONTAGE (AREA WITHIN 20' OF LOT LINES ABUTTING PUBLIC STREET)		
GOLDENROD STREET & 102ND AVENUE = 625 LF		
1 OVER-STORY TREE/40 LF. OF FRONTAGE	16 TREES	12 OVER-STORY TREES (1) 4 EVERGREEN TREES (1)
1 SHRUB/5 LF. OF FRONTAGE	125 SHRUBS	145 SHRUBS + 140 PERENNIALS
HIGHWAY 10 = 1,062 LF		
1 OVER-STORY TREE/40 LF. OF FRONTAGE	27 TREES	20 OVER-STORY TREES + 7 SAVED EXISTING TREES
1 SHRUB/5 LF. OF FRONTAGE	212 SHRUBS	212 SHRUBS

- VARIANCE AND SUBSTITUTION**
- PROPOSED SUBSTITUTION TO PROVIDE SCREENING.
 - PROPOSED VARIANCE ON LOCATIONS TO PROVIDE SCREENING ALONG PERIMETER.

	REQUIRED	PROPOSED
OPEN YARD 29,767 SF. (PERVIOUS AREA - 20' STREET FRONTAGE)		
1 OVER-STORY TREE/3,000 SF.	10 TREES	10 TREES
1 ORNAMENTAL TREE/1,500 SF.	20 TREES	20 TREES
1 EVERGREEN TREE/3,000 SF.	10 TREES	10 TREES (2)
1 SHRUB/100 SF.	298 SHRUBS	298 SHRUBS + 110 PERENNIALS + INFILTRATION MIX
PARKING LOT 8,745 SF.		
LANDSCAPED ISLANDS (5' MIN. WIDTH) OVER-STORY TREES/ISLAND	3% OF PARKING AREA 2 TREES/ ISLAND	7.5% 2 TREES/ ISLAND TOTAL 16 TREES
SCREENING		
3' SODDED BERM OR 3' HT HEDGE BETWEEN RIGHT-OF-WAY AND PARKING AREA		3' HT HEDGE

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING AND POSITIVE SURFACE DRAINAGE IN ALL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR MUST ENSURE THAT THE FINAL GRADES ARE MET AS SHOWN ON GRADING PLAN. IF ANY DISCREPANCIES ARE FOUND, IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT FOR RESOLUTION.
- ALL PLANT MATERIALS ARE TO CONFORM WITH STATE & LOCAL CONSTRUCTION STANDARDS AND THE CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ALL PLANT MATERIALS ARE TO BE HEALTHY, HARDY STOCK, AND FREE FROM ANY DISEASES, DAMAGE, AND DISFIGURATION.
- QUANTITIES OF PLANTS LISTED ON THE PLAN ARE TO GOVERN ANY DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND PLAN. PLACE PLANTS IN PROPER SPACING FOLLOWING LAYOUT FIGURES.
- EDGE ALL SHRUB BEDS WITH SIX (6) INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL).
- MAINTAIN THIRTY (30) INCHES CLEARANCE AROUND PARKING STALLS TO ALLOW OVERHANG OF PARKED CARS.
- APPLY FOUR (4) INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH, COLORED BLACK, IN FOUR (4) FOOT DIAMETER RING AROUND ALL TREES IN TURF AREA, NO ALUMINUM EDGING IS REQUIRED.
- APPLY FOUR (3) INCH DEPTH OF ONE (1) - FOUR (4) INCH DARK GRAY TRAP ROCK MULCH OVER WEED BARRIER FABRIC IN ALL PLANTING BEDS.
- PLACE 5"-12" GRAY TRAP ROCK OVER WEED BARRIER FABRIC ALONG PARKING PERIMETER AS SHOWN ON PLAN.
- PLACE AND BURY 16"-36" GRAY TRAP BOULDERS AS SHOWN ON PLAN TO A DEPTH OF APPROXIMATELY 1/3 OF OVERALL SIZE.
- WEED BARRIER FABRIC TO BE BLACK POLYPROPYLENE SHEET 27 MILS THICK, 4 OZ/SQ. YD., TENSILE STRENGTH PER ASTM D-4632, PRODUCT BY DEWITT COMPANY OR APPROVED EQUAL.
- APPLY PRE-EMERGENT TO MULCH IN PLANTING AREAS TO PROHIBIT WEED GROWTH. APPLICATION RATE TO BE PER MANUFACTURER'S RECOMMENDATIONS. IF WEEDS APPEAR IN TREATED AREAS DURING THE FIRST YEAR, LANDSCAPE CONTRACTOR TO REMOVE ALL WEEDS AT NO ADDITIONAL COST.
- SOD SHALL CONFORM WITH MNDOT 3878.2A, BE DENSE, AND OF UNIFORM TEXTURE, FREE OF WEEDS AND DISEASE. APPLY MINIMUM SIX (6) INCHES OF TOPSOIL (MNDOT 3877) AND THOROUGHLY APPLY SLOW RELEASE FERTILIZER TO TOP TWO (2) INCHES BEFORE LAYING SOD.
- PLANTING SOIL FOR LANDSCAPED AREAS SHALL BE MINIMUM SIX (6) INCHES IN DEPTH. PLANTING SOIL SHALL BE WELL-GRADED SOIL, FRIABLE AND FERTILE, FREE OF HARDPACK SUBSOIL, STONES AND NOXIOUS WEEDS, AND HAVE A PH BETWEEN 6.5 AND 7.5. PLANTING SOIL TO BE A MIXTURE OF SELECTED TOPSOIL, BORROW (MNDOT 3877 TYPE B), PEAT MOSS OR COMPOSTED YARD WASTE AND FERTILIZER. MIXING PROPORTIONS SHALL BE ACCORDING TO LOOSE VOLUME RATIO AND HAVE A COMPOSITE ORGANIC CONTENT AT NO LESS THAN 15% AND NO GREATER THAN 20%. FERTILIZER SHALL BE SLOW RELEASE COMMERCIAL FERTILIZER AND ADDED IN SUFFICIENT QUANTITY TO PROVIDE 0.05 POUND OF TOTAL NITROGEN PER CUBIC YARD OF PLANTING SOIL.
- FOLLOW LANDSCAPE DETAILS FOR ALL INSTALLATION, UNLESS OTHERWISE NOTED.
- PLANTING, LAWN, TURF PARKING ISLANDS, AND ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM. CONTACT MNDOT FOR IRRIGATION APPROVAL, IN RIGHT-OF-WAY. NO WATER IS ALLOWED ON ANY PAVEMENT, PARKING, WALKWAY, AND BUILDING. THE IRRIGATION CONTRACTOR IS TO DESIGN AND ENSURE THAT IRRIGATION DESIGN MEETS ALL CITY PLUMBING CODES AND REQUIREMENTS.
- LANDSCAPE CONTRACTOR TO MAINTAIN PLANTS AND SOD IN HEALTHY CONDITION THROUGHOUT ONE YEAR WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BEGIN UPON INSPECTION AND ACCEPTANCE BY CITY STAFF.



PLANT SCHEDULE

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS TREES						
	10	SIENNA GLEN MAPLE	ACER X FREEMANII 'SIENNA'	2.5" CAL.	B&B	50'H X 35'W
	12	RED SUNSET MAPLE	ACER RUBRUM 'FRANKSRED'	2.5" CAL.	B&B	50'H X 30'W
	12	PAPER BIRCH	BETULA PLATYPHYLLA 10' CLUMP		B&B	50'H X 35'W
	8	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	B&B	50'H X 40'W
	16	FESTIGIATA OAK	QUERCUS ROBUR 'FESTIGIATA'	2.5" CAL.	B&B	50'H X 15'W
EVERGREEN TREES						
	14	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' HT.	B&B	35'H X 20'W
ORNAMENTAL TREES						
	14	PAGODA DOGWOOD	CORNUS ALTERNIFOLIA	1.5" CAL.	B&B	20'H X 15'W
	6	AMUR MAACKIA	MAACKIA AMURENSIS	1.5" CAL.	B&B	20'H X 15'W

KEY	QUANT.	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT COND.	MATURE SIZE
DECIDUOUS SHRUBS						
	100	AUTUMN MAGIC BLACK CHOKEBERRY	ARONIA MELANOCARPA 'AUTUMN MAGIC'	24" HT.	POT	4'H X 4'W
	124	ALLENMAN'S COMPACT DOGWOOD	CORNUS SERICEA 'ALLENMAN'S COMPACT'	24" HT.	POT	4'H X 6'W
	78	EMERALD MOUND HONEYSUCKLE	LONICERA XYLOSTEMUM 'EMERALD MOUND'	24" HT.	POT	3'H X 4'W
	98	GROW-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	18" SP.	POT	2'H X 4'W
	35	SEM ASH LEAF SPIREA	SORBARIA SORBIFOLIA 'SEM'	24" HT.	POT	3'H X 3'W
	90	HUMMINGBIRD SUMMERSWEET	CLETHRA ALNIFOLIA	24" HT.	POT	4'H X 4'W
EVERGREEN SHRUBS						
	46	DAUB'S FROSTED JUNIPER	JUNIPERUS CHINENSIS 'DAUB'S FROSTED'	24" HT.	POT	3'H X 4'W
	76	BOARDMOOR JUNIPER	JUNIPERUS SABINA 'BOARDMOOR'	18" SP.	POT	1.5'H X 4'W
	7	TECHNY ARBORVITAE	THUJA OCCIDENTALIS 'TECHNY'	5' HT.	POT	12'H X 6'W
PERENNIALS						
	* 110	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL.	POT	4'H X 2'W
	70	RUBY STELLA DAYLILY	HEMEROCALLIS 'RUBY STELLA'	1 GAL.	POT	1.5'H X 2'W
	70	BLACK EYED SUSAN	RUBRICKIA FULGIDA 'GOLDSTURM'	1 GAL.	POT	2'H X 2'W

LEGEND

- SOD
- INFILTRATION SEEDING (SEE SHEET C3.3 FOR SEEDING MIX AND NOTES)
- UPLAND SEEDING (SEE SHEET C3.3 FOR SEEDING MIX AND NOTES)

SUBSTITUTIONS: IF ANY SUBSTITUTIONS ARE REQUIRED, SUBMIT WRITTEN DOCUMENTS AND PROPOSED SUBSTITUTIONS TO LANDSCAPE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO PURCHASE AND/OR INSTALLATION.

1 LANDSCAPE PLAN
1" = 30'

BA
BAKER ASSOCIATES, INC.
ARCHITECTS

150 South Fifth Street
Suite 1425
Minneapolis, MN 55402-1200
Telephone: 612.339.8601
Fax: 612.339.6665

Honda of
Coon Rapids
Coon Rapids, MN

New Construction

Issued:
Site Plan Review
Revision
City Comments

Elan
DESIGN LAB

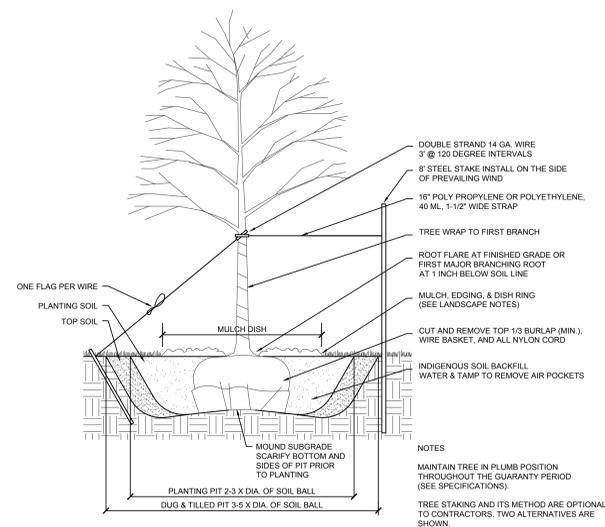
901 N 3rd STREET, SUITE 120
MINNEAPOLIS, MN 55401
p 612.260.7990 www.elanlab.com
f 612.260.7990

I hereby certify that this plan was prepared by me, or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the state of MINNESOTA.

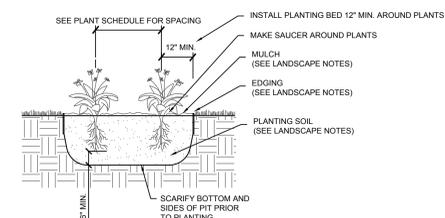
Planesnee Sarathong
NOT FOR CONSTRUCTION

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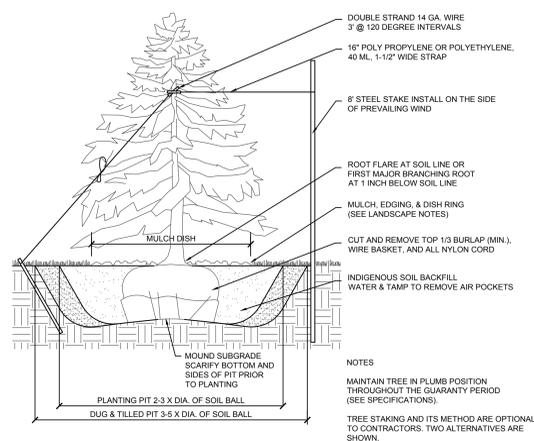
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Comm No: BAK16006
Sheet Number: **L2.1**
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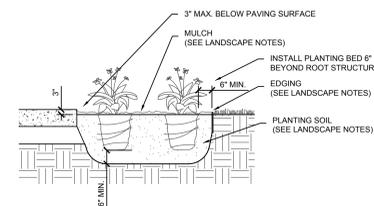
1 DECIDUOUS TREE PLANTING NO SCALE



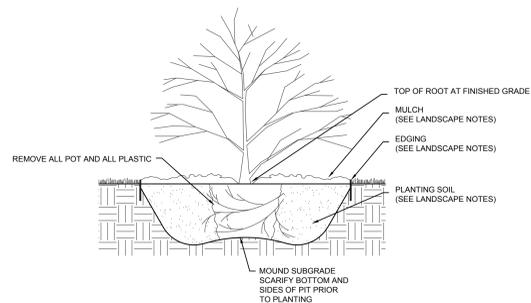
4 PERENNIAL PLANTING NO SCALE



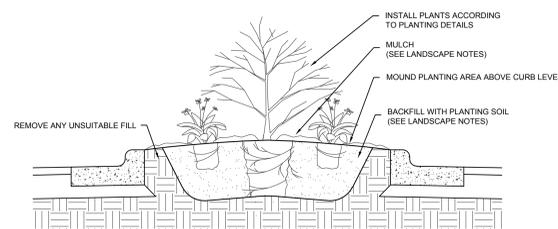
2 CONIFEROUS TREE PLANTING NO SCALE



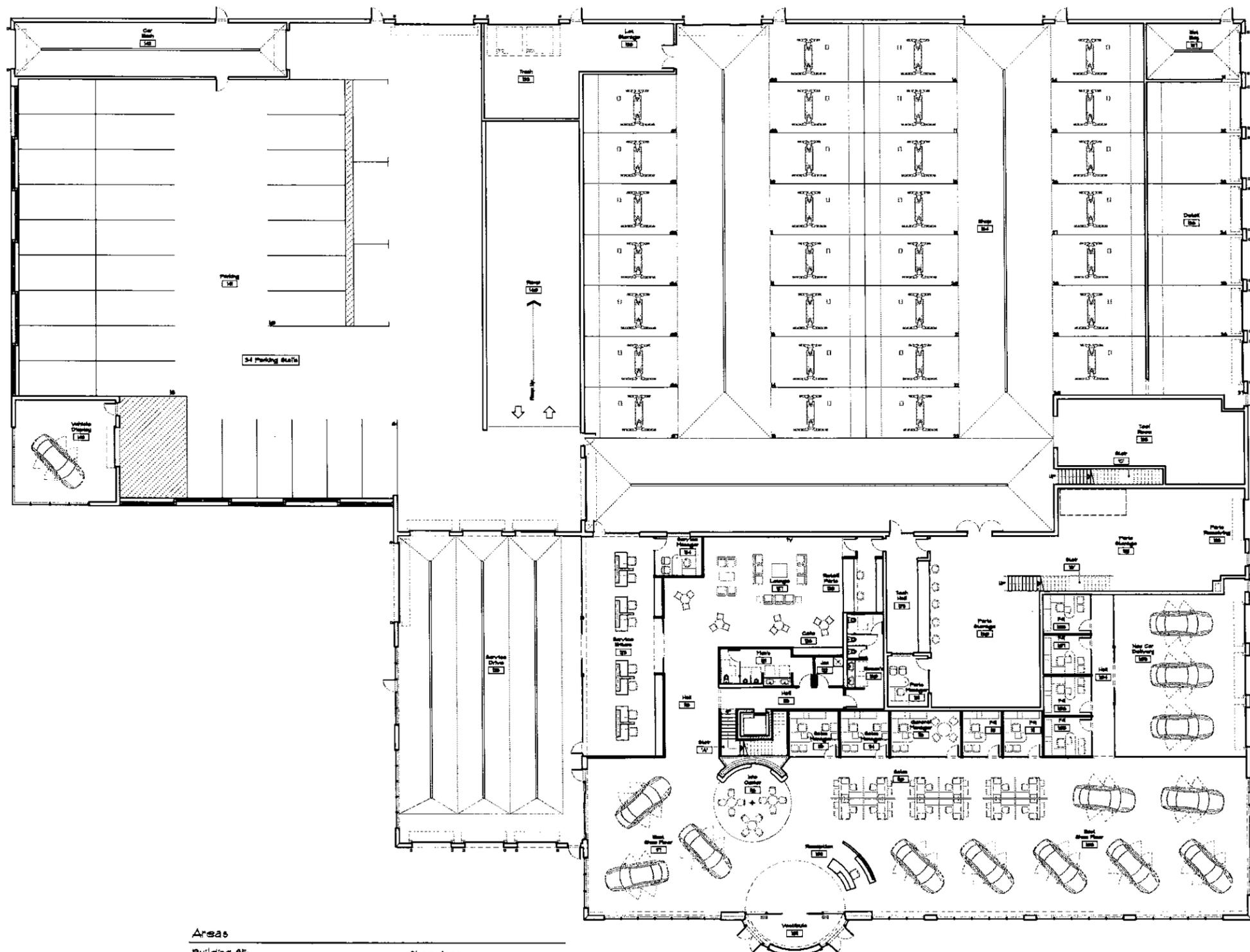
5 EDGING AT PLANTING BED NO SCALE



3 SHRUB PLANTING NO SCALE



6 PLANTING AT PARKING ISLAND NO SCALE



Areas		Shop Area:	
Building SH:		Shop :	19,360 SF.
First Floor:	61,860 SF.	Service Bays:	30
Second Floor:	26,560 SF.	Detail Bays:	1
Third Floor:	38,360 SF.		
Total:	126,780 SF.	Vehicle Displays:	10
Parts Area:		Show Floor:	10
First Floor:	2,530 SF.	New Car Delivery:	3
Second Floor:	4,070 SF.		
Total :	6,600 SF.		

First Floor Plan
3/27/16

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name: T. Henry
Date: 8/27/16
Scale: 1/8" = 1'-0"
Sheet No: 10001

First Floor Plan

BA
BAKER ASSOCIATES, INC.
ARCHITECTS

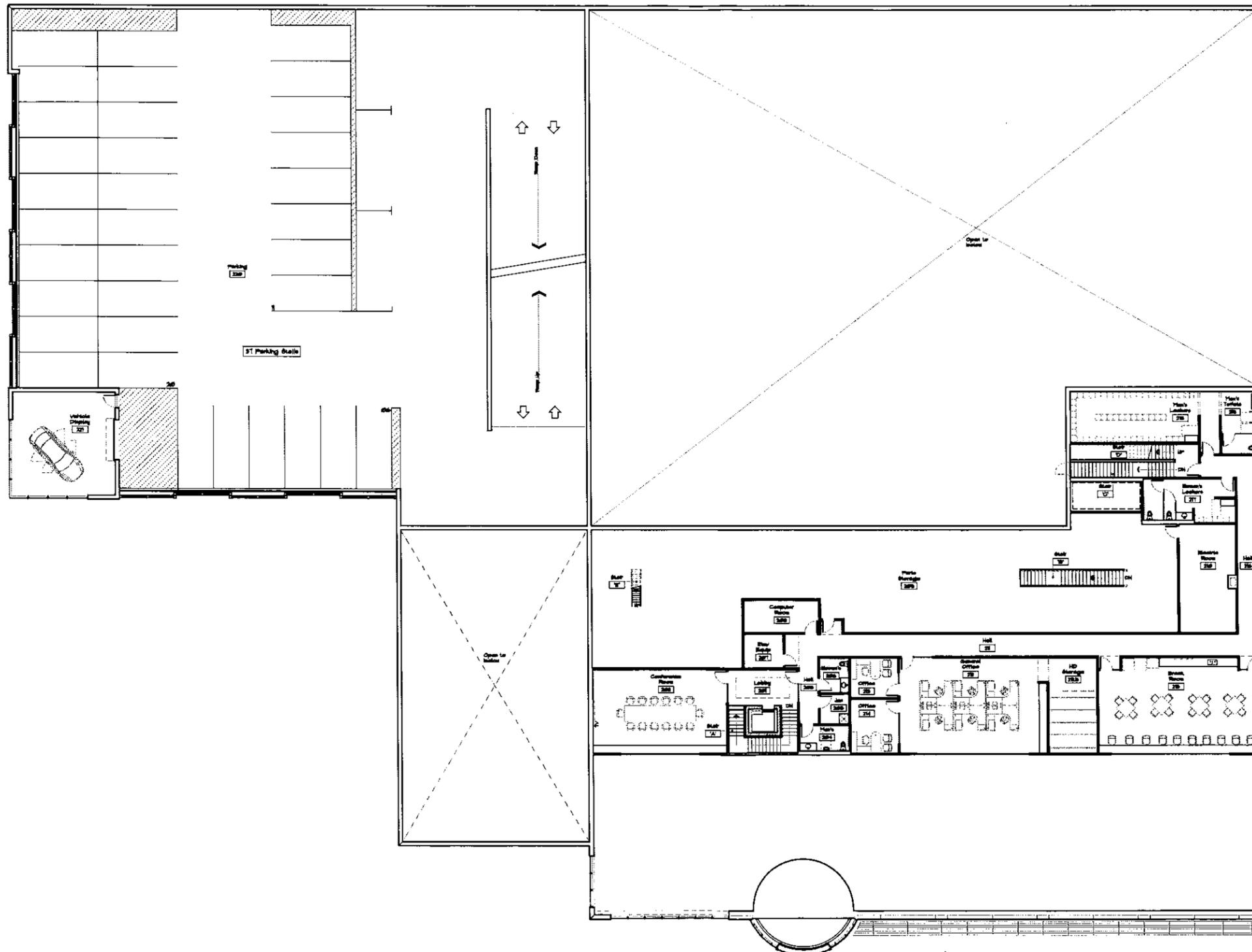
150 SOUTH FIFTH STREET
SUITE 1405
MINNEAPOLIS, MN 55402-1000
TELEPHONE: 612.579.8601
FAX: 612.579.2568

**Honda of
Coon Rapids**



Coon Rapids, MN
New Construction

11/16/16
City Submittal 08 Aug 2016



Second Floor Plan
2,552'-1"-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of MINNESOTA.
Apprentice Stamp

Date: 08/08/2016
Sheet No: 201608001
Sheet Title: Submittal

Second Floor Plan

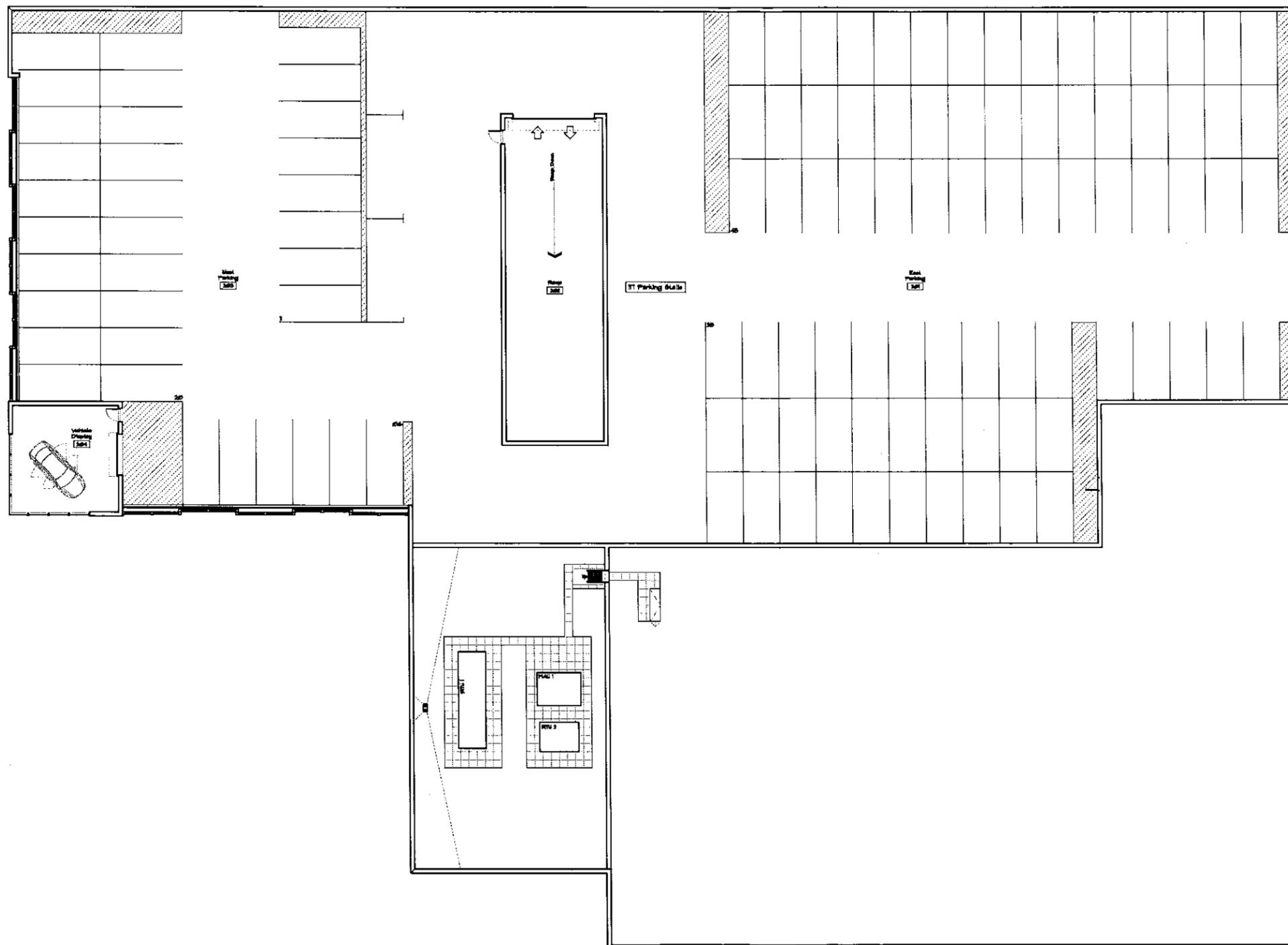
Scale: 3/8" = 1'-0" | Sheet Number
Date: 08/08/2016 | A-102
Client No: 201608001
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BA
 BAKER ASSOCIATES, INC.
 ARCHITECTS

150 SOUTH FIFTH STREET
 SUITE 1400
 MINNEAPOLIS, MN 55402-1300
 TELEPHONE: 918.330.9901
 FAX: 918.330.6552

**Honda of
 Coon Rapids** 
 Coon Rapids, MN
New Construction

Project:
 City Submittal 28 Aug 2016



AA Floor Plan
 3/28'-7'-0"

I hereby certify that this plan, specification or report was prepared by me, or under my direct supervision and that I am a duly Licensed Architect in the State of Minnesota.
 My commission expires on _____
 My name is _____

Date: 8/28/2016 Proj No: 160004
 Sheet Title: _____

Root Plan

Date: 8/28/2016 Sheet Number
 Drawing: 2800 **A-103**
 © 2016



TO: Scott Harlicker, Planner

FROM: Alex Wiebe, Civil Engineer
Mark Hansen, Assistant City Engineer

SUBJECT: Honda of Coon Rapids Dealership
Civil Site Plan Review

DATE: August 23, 2016

The following comments are based on the Engineering Division's review of the updated plans submitted for the proposed Honda of Coon Rapids car dealership. The original plans were dated August 8, 2016, and were prepared by Elan Design Lab. Plan updates are dated August 17, 2016. The site survey was performed by Cornerstone Land Surveying, Inc.

Certificate of Survey

- Project location address should be updated to 10202 Goldenrod Street NW.

Grading Plan – C3.1

- We recommend the engineer verify with MnDOT staff that the flared end section would be allowed provided a permit is obtained. Contact Paul Jung at 651-234-7716 or paul.jung@state.mn.us to verify permitting and plan review requirements.

Details – C5.2

- The leader note for the orifice elevation of 888.00 does not appear to be pointing to the correct location on the detail.

Stormwater Management Report

- An operations and maintenance agreement will be required. Normally this is part of the Coon Creek Watershed District permit process.

General Comments

- WSB & Associates will be contracted by the applicant to perform periodic erosion control inspections during the construction phase of this project. Building permits are not released until applicants have a contract with WSB for the required inspections.

Cc: Tim Himmer, Public Works Director
Grant Fernelius, Community Development Director
Rebecca Haug, Coon Creek Watershed District